



CITY OF HAYWARD
AGENDA REPORT

AGENDA DATE 01/14/03
AGENDA ITEM 5
WORK SESSION ITEM _____

TO: Mayor and City Council

FROM: Director of Community and Economic Development

SUBJECT: Use Permit No. PL-2002-0122 and Variance No. PL-2002-0291 - Mark Wagter and Nitsa Zuppas (Applicants/Owners) – Application to Convert Two Warehouses to Four Live/Work Units, including a Variance - The Property is Located at 628 B Street

RECOMMENDATION:

It is recommended that the City Council adopt the attached resolution finding that the project is categorically exempt from CEQA review, and:

- A. Upholding the Planning Commission decision to approve the Use Permit; and
- B. Denying the Variance.

DISCUSSION:

As provided for in the Zoning Ordinance, the Mayor requested review of this application by the City Council.

At its November 21, 2002, meeting, the Planning Commission approved, 5:1:1(one abstention), a use permit application to allow the conversion of two warehouse structures into four live-work units and a variance to allow vehicles to back out from a two-car garage onto B Street where forward motion is required. The applicants indicate that they would not be able to secure adequate funding for the project if the variance is denied because their financial institution will lend the money only if the garages are included.

With respect to the use of the property for live/work units, the project is consistent with policies and development standards of the Downtown Hayward Design Plan, which supports retail, office and multi-family residential uses on the property.

Regarding design, the site is located within the *B Street Special Design Streetcar District (SD-1)*, which requires materials to be sympathetic to original Victorian, Colonial Revival, or Craftsman styles. The prominent features that are common in this neighborhood are porches, brackets and cornices. The proposed modifications to the buildings include adaptations of several of those features. However, staff is of the opinion the appearance of the B Street façade could be further improved. Although staff had recommended that the Planning Commission require further enhancement of the structure, the Commission did not include the suggested changes in their approval action. Specifically, staff recommended the addition of a metal entry cover with

brackets over the front entry of the B Street building, consistent with the design of the entry covers on the rear building, giving the appearance of a porch. Also suggested are elements that would further break up the flatness of the front façade. These elements include the expansion of the cornice width, the addition of brackets below the cornice, and augmented raised stucco or tile elements framing the windows and entry. Staff recommends that the City Council require the enhancements suggested above.

No parking is required because the project is a conversion of existing buildings in the CC-C Subdistrict. The project is located across the street from the Hayward BART Station and the Downtown Hayward Transit Center where opportunities to utilize public transportation are abundant. In addition, it is within walking distance of shopping, banking and other services. For residents with vehicles, a multi-purpose courtyard in the interior of the site could be used for parking three or four vehicles. The use of the courtyard for parking could be expanded if a proposed balcony and gated area were not constructed at the rear elevation of the front building. The use of these outdoor spaces for recreating would be very limited anyway due the noise associated with passing trains and BART cars. The existing driveway access to the courtyard is located on the west side of the property, and vehicles which park in the courtyard have the ability to exit the property forward into B Street.

The proposed two-car garage would be accessed from B Street. The City's Off-Street Parking Regulations require vehicles to exit multi-family properties in a forward motion; therefore, approval of a variance is required to allow vehicles to back into the street. Staff's recommendation to the Planning Commission was to deny the variance request because of the potential hazards to both vehicles and pedestrians. The garage would be approximately 45 feet west of the railroad tracks, with the garage doors situated at the back of the sidewalk about 14 feet from the curb. A vehicle backing out of the garage would create a potential conflict with pedestrian and vehicular movement.

Vehicles traveling westbound on B Street would have limited visibility of a car backing out of a garage due to the railroad tracks and other distractions in the area. As vehicles approach from the east they pass through the Montgomery Street intersection and the main entrance to the BART station where there is a constant stream of pedestrians, buses, taxis and vehicles moving through the area. As a vehicle crosses the railroad tracks, the driver's attention focuses on the traffic and the signal at the intersection of Grand Street.

The safe stopping sight distance for a vehicle traveling 25 miles per hour is approximately 200 feet. A vehicle traveling along B Street would need to see the car backing out as they pass the Montgomery Street intersection in order to stop on the railroad tracks and allow the car to finish backing out. The backing vehicle is not likely to be noticed until a driver is going up the incline onto the railroad tracks, limiting the stopping distance to approximately 70 feet.

The Planning Commission did express concern for drivers whose vehicles would stop on the tracks; however, the Commission also pointed out that on-street parking is not permitted along B Street in front of subject property, so visibility of on-coming vehicles would not be impaired. Planning Commissioners also asked about the possibility of relocating the garage to another area within one of the two buildings. The applicant indicated that there were physical impediments that would impede relocation efforts. In the opinion of staff, it is physically possible to locate a garage in the rear building that would accommodate three vehicles, with two of the vehicles being in a tandem situation. However, this would entail a significant redesign, perhaps locating three dwelling units in the front building and one dwelling unit and the garages in the back building. The Planning Commission concluded that B Street is not heavily traveled and that backing into

the street would not result in a major traffic conflict. Therefore, the Commission was of the opinion that the project, as designed and with the implementation of the conditions of approval, would be a welcome addition to the neighborhood.

The applicants pointed out to the Planning Commission that the proposed project would not be the first multi-family development from which backing into the street was permitted. They referred to the six garages in Atherton Place that are accessed from Atherton Street. However, the estimated Average Daily Trips (ADT) on B Street is 8,100 compared to a much lower estimated 1,400 ADT on Atherton Street.

Based on the potential traffic hazards to pedestrians and vehicles described above, staff strongly recommends against vehicles backing over the sidewalk out onto B Street and that the area designated for a garage be used for other purposes. If Council is inclined to support the variance, staff recommends requiring relocation of the garage doors 3 feet to the east, towards the railroad tracks, to avoid possible damage to an existing Sycamore tree. It should be pointed out, however, that by shifting the garage doors, the garage would have to be accessed by motorists on a slight angle because the garage wall is on an angle. With respect to design, staff would recommend modifying the design of the garage doors by adding windows and incorporating the grid pattern found in the vehicle gate, the front entry gate, and the trellis.

The development would not generate a number of students that cannot be served by existing facilities. Using the Student Generation Factors for multi-family residences, as provided by the Hayward Unified School District, it is projected that this 4-unit development will generate approximately one student that can be accommodated by Burbank Elementary, Winton Middle School or Hayward High School. In addition, school fees will be collected prior to the issuance of a building permit. Typically, there are fewer children associated with the live/work living style, as privacy is often an issue.

Prepared by:

Arlyne J. Camire

For Arlyne J. Camire, AICP
Associate Planner

Recommended by:

Sylvia Ehrental

Sylvia Ehrental
Director of Community and Economic Development

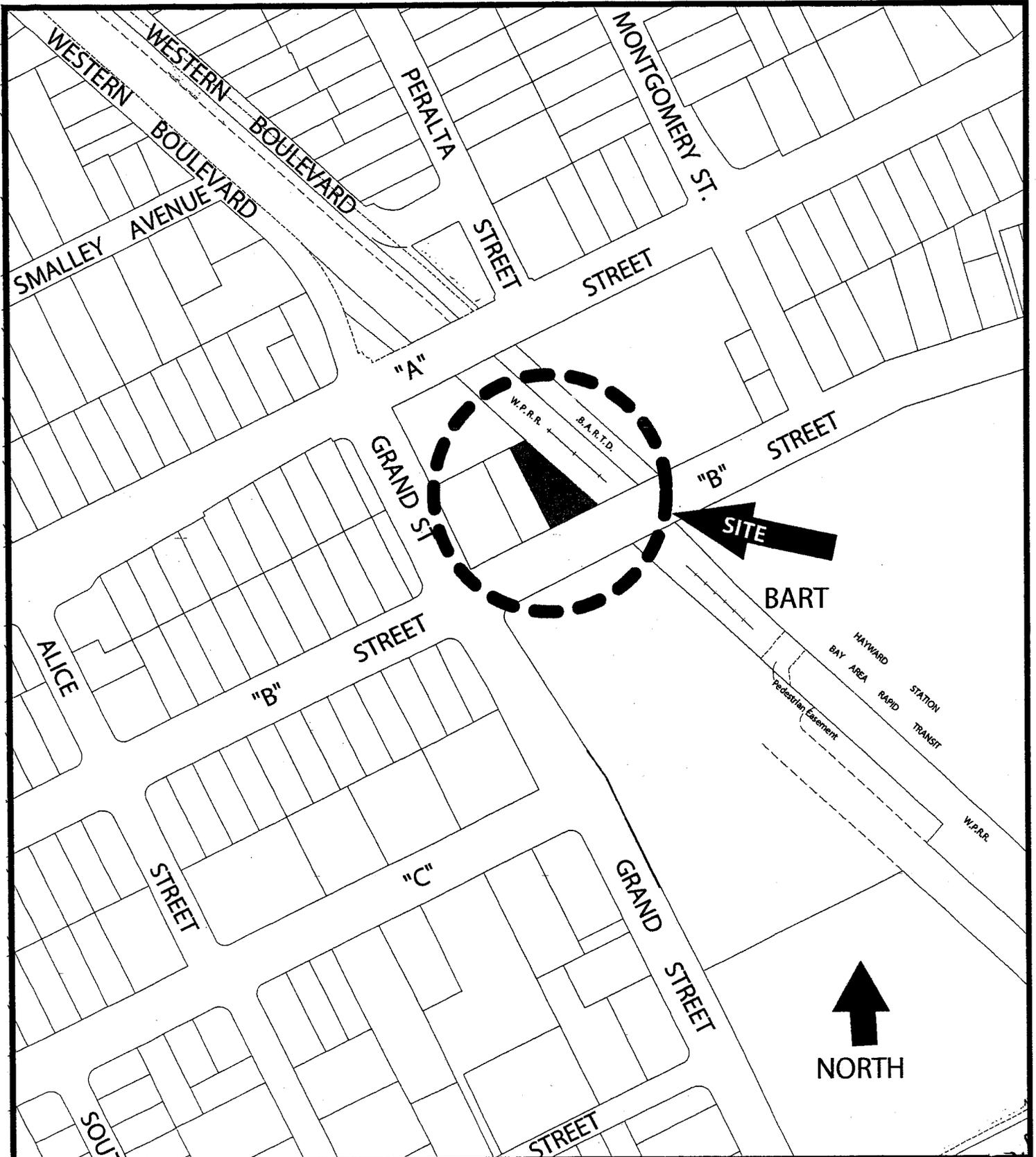
Approved by:

Jesús Armas

Jesús Armas, City Manager

Attachments: Exhibit A. Area Map
Exhibit B. Findings For Approval of Use Permit
Exhibit C. Findings for Denial of Variance
Exhibit D. Conditions of Approval
Exhibit E. Planning Commission Staff Report and Minutes, dated November
21, 2002
Plans
Draft Resolution

1/9/03



PL-2002-0122 UP
Address: 628 B Street
Applicant: Mark Wagter
Owner: Mark Wagter & Nitsa Zuppas

Findings of Approval
Conditional Use Permit Application No. PL-2002-0122
Mark Wagter & Nitsa Zuppas (Applicants/Owners)
Conversion of Two Commercial/Industrial Buildings
Multi-family Residences on the First Floor
628 B Street

- A. The approval of Conditional Use Permit Application No. PL-2002-0122, as conditioned, will have no significant impact on the environment, cumulative or otherwise. The project reflects the City's independent judgment, and the project is categorically exempt from the California Environmental Quality Act (CEQA), pursuant to Section 15303, of the CEQA Guidelines (*New Construction or Conversion of Small Structures*).
- B. The proposed project will provide an opportunity for homeownership of transit oriented units which is desirable for the public convenience and welfare;
- C. The proposed units will not impair the character and integrity of the zoning district and surrounding area in that the residential character of the B Street Streetcar Special Design District will be maintained and the rehabilitation of the property will be an enhancement to the downtown;
- D. The proposed units will not be detrimental to the public health, safety, or general welfare in that the proposal will meet all requirements of all applicable Zoning, Building and Fire codes and conditions of approval require that the property be maintained in a litter-free, graffiti-free condition, with no outdoor storage; and design measures shall be incorporated to mitigate noise and vibration.
- E. The proposal is compatible with the policies and strategies of the General Policies Plan, the Downtown Hayward Design Plan and the Mark's Historic Rehabilitation District in that the site will retain the character of the Historic District and Downtown.

Findings of Denial
Variance Application No. PL-2002-0291
Mark Wagter & Nitsa Zuppas (Applicants/Owners)
Variance to Allow Vehicles to Back Out
of the Garage Onto B Street
628 B Street

- A. There are no special circumstances applicable to the property including size, shape, topography, location, or surroundings, or other physical constraints. The property is well suited for multiple-family development, but the sitting building location makes it infeasible to provide a vehicle turn-around thereby allowing for a potential unsafe situation if a vehicle is permitted to back into B Street.
- B. Strict application of the Zoning Ordinance does not deprive such property of privileges enjoyed by other property in the vicinity under the same zoning classification. Single-Family Residential properties fronting B Street have garages facing the street with no turnaround and backing onto B Street is permitted. However, backing onto B Street, over the right-of-way from the multi-family residential and commercial properties are not permitted because of the potential unsafe situation.
- C. The variance would constitute a grant of a special privilege inconsistent with the limitations upon other properties in the vicinity and zone in which the property is situated in that other commercial properties have provisions to allow vehicles to enter B Street without backing over the right-of-way.

Conditions of Approval
Conditional Use Permit Application No. PL-2002-0122
Mark Wagter & Nitsa Zuppas (Applicants/Owners)
Conversion of Two Commercial/Industrial Buildings
Multi-family Residences on the First Floor and
628 B Street

General:

1. Conditional Use Permit Application No. PL-2002-0122 is approved subject to the conditions listed below. This permit becomes void **one year** after the effective date of approval, unless prior to that time a building permit application has been accepted for processing by the Building Official, or a time extension of this application is approved. A request for a one-year extension, approval of which is not guaranteed, must be submitted to the Planning Division **15 days** prior to the above date.
2. The permittee shall assume the defense of and shall pay on behalf of and hold harmless the City, its officers, employees, volunteers and agents from and against any or all loss, liability, expense, claim costs, suits and damages of every kind, nature and description directly or indirectly arising from the performance and action of this permit.
3. Any proposal for alterations to the proposed site plan and/or design, which does not require a variance to any zoning code, must be approved by the Planning Director prior to implementation.
4. Prior to final inspection/occupancy, all improvements and conditions of approval shall be completed to the satisfaction of the Planning Director.
5. The conditions of approval shall be attached to plans submitted to the Building Division.
6. Violation of conditions is cause for revocation of this permit, subject to a public hearing before the duly authorized reviewing body.

Planning

7. Replace the chainlink fence with a 10-foot high masonry wall on the east property line and replace the chainlink fence on the west property line with a 6-foot redwood fence that will decrease to 3 feet, 10 feet from the front property line. Plans shall be submitted for the review and approval of the Planning Director.
8. Submit elevations of a trash/recyclables enclosure. Size, location and design, shall be to the satisfaction of the City of Hayward Solid Waste Manager and Planning Director.
9. Utility meters shall be screened while allowing sufficient reader access. The Planning Director shall approve the design of the meter screen.

10. The property shall be maintained graffiti free, free of outdoor storage and the structures and fences shall be kept in good condition.
11. The façade of the front building shall be modified to include a metal entry cover and purlins that match that of those on the rear building.
12. The entry covers on the rear building shall be increased in size to provide more protection from the weather.
13. The front façade of the front building shall be redesigned to include design features that break-up the flat and plain façade. These features shall include awning projections, tile or additional framing around windows and windowsills.
14. The designated garage shall be redesigned as a storefront for commercial and/or office uses or shall be incorporated into proposed live/work spaces. The design is to be revised for the approval of the Planning Director.
15. The balconies shall be metal. The Planning Director shall approve the design.
16. Prior to issuance of a building permit, a condominium map shall be filed with the California Department of Real Estate creating four condominium units. The applicant shall provide the City with the recorded documents reflecting the formation of a homeowners association and the creation of Conditions, Covenants & Restrictions (CC&Rs)
17. Prior to the sale of any unit, the applicant shall create a Homeowners Association and shall record the CC&R's. The CC&R's shall be subject to the review and approval of the City Attorney prior to recordation. The Homeowner Association shall be responsible for implementing all storm water measures and the maintenance of all private driveway, private utilities, and other common areas and facilities on the site, including all landscaping.
18. Any appropriate historical artifacts unearthed on the site in connection with the construction of the proposed project shall be offered to the Hayward Area Historical Society at no charge.
19. Mechanical equipment, such as air conditioners, shall be prohibited on the roof of any building unless screened.

Fire Department

20. All buildings shall have individual address numbers posted so as to be visible from the street. Address numbers shall be a minimum of 6-inches.
21. Upon further Fire Department review of the revised plans, additional conditions may be required to be met prior to the issuance of a building permit.

Solid Waste

22. At building permit issuance, a Construction & Demolition Debris Recycling Statement & Summary Report is required to be filed with the Solid Waste Division, Public Works Department. All construction debris is required to be recycled.

Utilities

23. The existing 5/8" water meter is inadequate for the proposed conversion. **Before Granting Occupancy**, City of Hayward crews, at applicants' expense, shall upgrade water services. The application for water service shall be presented to the City of Hayward Inspector. Water and Sewer service is available subject to standard conditions and fees in effect at time of application. Allow 4 to 6 weeks from time of application for the installation of water service.
24. Submit Gallon Per Minute Demand on plans to determine proper meter size for residential water service.
25. Show on revised plans, location of proposed water meters. The water meters are to be located two feet from top of driveway flare as per City of Hayward Standard Details 213 through 218. Water meters to be located a minimum of 6 feet from sanitary sewer lateral as per State Health Code.
26. Revised plans shall be submitted showing the following:
 - a. Provide keys/access code/automatic gate opener to utilities for all meters enclosed by a fence/gate as per Hayward Municipal Code 11-2.02.1.
 - b. **Only Water Distribution Personnel** shall perform operation of valves on the Hayward Water System.

Police

27. If garages are approved, security lighting shall be placed over the garages. The light fixtures shall be decorative, shall match the light fixtures found throughout the project, and shall be approved by the Planning Director.
28. The front door of each unit shall be equipped with a 180-degree security viewfinder.

Landscaping:

29. Prior to the issuance of the building permit, detailed landscape renovation plans shall be prepared by a licensed landscape architect and submitted for review and approval by the City. Landscape Architect. The plans shall comply with the City's *Water Efficient Landscape Ordinance*. Plans shall include the following:
 - a. All mature trees located on the west property line that are to be preserved and maintained. All existing trees that are indicated to remain, as indicated on the

approved preliminary landscape plan, are not to be removed during the construction phase of this project.

- b. All plants that have died back or are dead shall be replaced.
- c. Vines and shrubs located on the outside of the wall adjacent to the railroad tracts.
- d. The automatic irrigation system shall be operational and provide 100 percent coverage prior to approval of the landscape improvements.

30. Landscaping and trees shall be installed prior to occupancy of the Phase 1, unless otherwise approved by the City's Landscape Architect.

31. Landscaping shall be maintained in a healthy, weed-free condition at all times. The owner's representative shall inspect the landscaping on a monthly basis and any dead or dying plants (plants that exhibit over 30-percent die-back) shall be replaced within ten days of the inspection. Trees shall not be severely pruned, topped or pollarded. Any trees that are pruned in this manner shall be replaced with a tree species selected by, and size determined by the City Landscape Architect, within the timeframe established by the City and pursuant to Municipal Code.

32. A hose bib shall be provided in multi-purpose/courtyard area.

33. Prior to certificates of occupancy, the required park dedication in-lieu fee shall be paid to the City. Per the City's Parkland Dedication Ordinance, the amount of the fee shall be in accordance with the fee schedule in effect at the time of issuance of the building permits.

Construction Activities

34. All construction and demolition debris waste shall be recycled. Applicant is required to submit a Construction and Demolition Debris Recycling Statement and Summary Report.

35. The applicant shall submit a construction Best Management Practice (BMP) program for review and approval by the City prior to the issuance of any building permits. The general contractor and all subcontractors and suppliers of material and equipment shall implement these BMP's. Construction site cleanup and control of construction debris shall also be addressed in this program. The applicant is responsible for ensuring that all contractors are aware of all storm water quality measures and ensure that measures are implemented. Failure to comply with the approved construction BMP's will result in the issuance of correction notices, citations or a project stop work order.

36. The project plans shall include storm water measures for the operation and maintenance of the project for the review and approval of the City Engineer. The project plans shall identify BMP's appropriate to the uses conducted on-site to effectively prohibit the entry of pollutants into storm water runoff facilities. The project plan shall also include erosion control measures to prevent soil, dirt and debris from entering the storm drain system, in accordance with the regulations outlined in the ABAG Erosion & Sediment Control Handbook.

37. Construction equipment shall be properly muffled, and unnecessary idling shall be prohibited.
38. Stationary noise-generating construction equipment, such as compressors, shall be located as far as practical from occupied homes.
39. The developer shall provide the Planning Director with the name and telephone number of the developer or the developer's representative who may be contacted during the construction phase regarding neighborhood complaints or concerns.

MINUTES



REGULAR MEETING OF THE PLANNING
COMMISSION, CITY OF HAYWARD
Council Chambers
Thursday, November 21, 2002, 7:30 P.M.
777 "B" Street, Hayward, CA 94541

MEETING

The regular meeting of the Hayward Planning Commission was called to order at 7:30 p.m. by Chairperson Bogue, followed by the Pledge of Allegiance.

ROLL CALL

Present: COMMISSIONERS Zermefio, McKillop, Sacks, Caveglia, Halliday, Thnay
CHAIRPERSON Bogue
Absent: COMMISSIONER None

Staff Members Present: Anderly, Camire, Conneely, Emura, Koonze, Looney

General Public Present: Approximately 75

PUBLIC COMMENT

AGENDA

1. **Use Permit No. PL-2002-0122 and Variance No. PL-2002-0291 – Mark Wagter & Nitsa Zuppas (Applicants/Owners)** – Request to Allow Live/Work Multi-Family Dwellings on the First Floor and a Variance to Allow Vehicles to Back Out (Forward Motion Required) of the Garage Onto "B" Street – The Property is Located at 628 B Street, Between Grand Street and BART, in the Central City-Commercial/"B" Street Special Design Streetcar (CC-C-SD-1) District
2. **Tentative Parcel Map 7990 Including Variances to Property Widths – Thai Tran (Applicant/Owner)** – Request to Subdivide Two Parcels, Approximately 18,000 ± Square Feet, into Three Residential Parcels, Each Approximately 6,000 Square Feet to Allow a Variance for the Reduction of Average Lot Widths – The Property is Located at 25209-25211 Soto Road on the Southwest Corner of Soto Road and Berry Avenue in a RSB6 (Single-Family Residential – 6,000 Square-Foot Minimum Lot Size) District
3. **Continuation of Referral By The Planning Director: Administrative Use Permit No. PL-2002-0262 – Mark Thomas-Heart of the Bay Christian Center (Applicant/Owner)** – Request to Convert an Existing Theater to a Religious Facility With Administrative Offices (Continued From 9/12/02) – The Property is Located at 24800 Hesperian Boulevard in a Neighborhood Commercial (CN) District

PUBLIC HEARINGS

1. Use Permit No. PL-2002-0122 and Variance No. PL-2002-0291 – Mark Wagter & Nitsa

Zuppas (Applicants/Owners) – Request to Allow Live/Work Multi-Family Dwellings on the First Floor and a Variance to Allow Vehicles to Back Out (Forward Motion Required) of the Garage Onto “B” Street – The Property is Located at 628 B Street, Between Grand Street and BART, in the Central City-Commercial/”B” Street Special Design Streetcar (CC-C-SD-1) District

Commissioner McKillop recused herself due to a conflict of interest.

Associate Planner Camire described the project proposed by the applicant/owners who would like to convert two existing warehouses into four live/work condominiums of which two will be in the front building and two the rear building. A Conditional Use Permit is required for first floor residential uses in the Central City Commercial District. The project is located in the B Street Special Design Streetcar District so it would also have to follow those guidelines as well. Staff is of the opinion that the front building should have more embellishment to fit into the neighborhood. This includes an awning over the front entrance to reflect the prominent porch feature found throughout the neighborhood. The project was reviewed informally by the Citizen Advisory Board, which found it acceptable as proposed. She explained another concern regarding the variance since staff believes backing onto B Street could be potentially hazardous. She noted that cars accelerate after reaching the top of the railroad track grade.

Commissioner Caveglia asked whether the garages in the homes on B Street back out.

Associate Planner Camire explained the Zoning Ordinance permits backing onto the street from single-family homes.

Commissioner Zermeño asked whether signage could be added to warn oncoming traffic.

Planning Manager Anderly indicated that it might be, however, another concern is vehicles backing onto “B” Street could stop the flow of traffic in the area.

Commissioner Thnay questioned whether staff had any suggestions as to the safety issues.

Chairperson Bogue opened the public hearing at 7:43 p.m.

Mark Wagter and Nitsa Zuppas, applicants, described the property as right on the property line. Mr. Wagter described the location as near between residential and commercial uses, making this an ideal in-fill project. This will be the answer for those who have a need for live-work space. The units will be massive, he said. He showed the proposed buildings and their plans. He asked for approval of the variance and then demonstrated what he believed to be the safety aspects of backing into traffic at this location relative to other residential locations within the downtown area. He then described the loft-residential codes in other cities, and then noted that vehicles can park in the courtyard and compared the project with the requirements for parking in a residential area.

Commissioner Halliday expressed her concerns about vehicles backing out onto B Street. She asked whether they considered putting the garage in the back.



Mr. Wagter explained that they did consider it but there wouldn't be enough space and the additional garages are necessary to make the project financially feasible.

Commissioner Halliday explained her concern with the proximity of the railroad track and the possibility of having to be stopped on the tracks.

Planning Manager Anderly noted that this conversion requires no parking so the parking requirement is met without the additional parking with the "B" Street garages.

Chairperson Bogue expressed his concern about the parking as well.

Commissioner Thnay asked about considering the first level for parking on the building in the rear.

Mr. Wagter then explained that the triangular shape of the building prevents it, as well as the cost involved in creating a living space above a garage.

Al Reynolds described the spur track next to the buildings saying that it should be considered for possible future use. He noted that the railroad track line running through the BART station is also not a main line and asked whether there would be fencing between the buildings and the tracks.

Mr. Wagter said the railroad representative explained that the spur tracks closest to the building have not been in use for years. He noted that the farthest tracks are a secondary line and have not been in use for several years because of other railroad projects in the area affecting the railroad route (Harder Road underpass).

Al Reynolds expressed concern that there might be a safety factor.

The public hearing was closed at 8:25 p.m.

Commissioner Caveglia **moved**, seconded by Commissioner Zermeño, to find the project categorically exempt from CEQA, approve the use permit and approve the variance application with findings that there are special circumstance because of the shape of the property; "that a strict application of the Zoning Ordinance does deprive such property of privileges enjoyed by other property in the vicinity. And that the variance would not constitute a grant of special privilege inconsistent with the limitations upon other properties in the vicinity. He then added that backing out would not be significant, and the project would be a plus to the neighborhood.

Commissioner Sacks commented that an exception should be made since there is no street parking in that area. She noted that it is usually the street parking that obscures the sight line for backing out, and pointed out that a car will back out few times during a day. She added that she would support the motion since she liked the project and was pleased with it. She then congratulated the applicant on their vision for these buildings.

Commissioner Halliday added that the applicant did a very good job of explaining the project. She commented that this part of B Street isn't all that heavily traveled at this time. She said she would applaud their reusing these two buildings noting that the reality is there has to be some parking for the building's residents.

Commissioner Zermeño said that this is a very good thing, having lofts in downtown since it will bring more people downtown. He would support the motion as well.

Commissioner Thnay noted that it is a great design and a good idea. However, traffic figures for single-family homes of four units will generate 40 trips. This will be an impact on the area. He expressed concern for the potential for conflict and what it does in the area.

Chairperson Bogue expressed concerns about the backing situation. He added that this seems to be a fast section of B Street. As a rule, it is not a good situation. He pointed out that backing in is easier than backing out.

Commissioner Halliday asked whether other cars back out from property onto B Street. The applicant indicated that they do. She then discussed a possible condition requiring tenants to exit the garages and only move in a westerly direction to avoid backing all the way into eastbound lanes.

Development Review Services Engineer Gaber explained that it would be impossible to enforce this kind of a condition.

Assistant City Attorney Conneely explained that the remedy for violation of a condition is generally revoking a use permit. In this instance it would be difficult since the building would have been converted and occupied.

The motion **carried** by the following vote:

AYES:	COMMISSIONERS	Halliday, Sacks, Caveglia
	CHAIRPERSON	Bogue
NOES:	COMMISSIONER	Thnay
ABSENT:	None	
ABSTAIN:	McKillop	

~~2. Tentative Parcel Map 7990 Including Variances to Property Widths – Thai Tran (Applicant/Owner) – Request to Subdivide Two Parcels, Approximately 18,000 ± Square Feet, into Three Residential Parcels, Each Approximately 6,000 Square Feet to Allow a Variance for the Reduction of Average Lot Widths – The Property is Located at 25209-25211 Soto Road on the Southwest Corner of Soto Road and Berry Avenue in a RSB6 (Single-Family Residential – 6,000 Square-Foot Minimum Lot Size) District~~

Assistant Planner Koonze showed a number of photos of the property and plans of the proposed project. He commented that the sheds would be removed. He noted that the City had just learned



CITY OF HAYWARD AGENDA REPORT

Meeting Date 11/21/02
Agenda Item 1

TO: Planning Commission

FROM: Arlynn J. Camire, AICP, Associate Planner

SUBJECT: Use Permit No. PL-2002-0122 and Variance No. PL-2002-0291: Mark Wagter & Nitsa Zuppas (Applicants/Owners) – Request to Allow Live/Work Multi-Family Dwellings on the First Floor and a Variance to Allow Vehicles to Back Out (Forward Motion Required) of the Garage Onto “B” Street

The Property Is Located at 628 B Street, between Grand Street and BART, in the Central City-Commercial/“B” Street Special Design Streetcar (CC-C-SD-1) District

RECOMMENDATION:

It is recommended that the Planning Commission:

1. Find that the project is Categorically Exempt from the guidelines of the California Environmental Quality Act, Section 15303; Class 3, Construction or Conversion of Small Structures;
2. Approve the use permit application subject to the attached findings and conditions of approval.
3. Deny the variance application subject to the attached findings.

DISCUSSION:

Setting

The 9,024-square-foot parcel contains two warehouse structures once operated as Rose Upholstery. The parcel is located on the north side of “B” Street, between Grand Street and BART and Union Pacific Railroad right-of-ways. The site is adjacent to a vacant lot and two single-family homes to the west. The storage/trash area and the parking lot of El Tapitio Mexican Market is located to the north, Union Pacific Railroad and BART tracks are to the east, and Hayward BART Station and parking lot are to the south, all in the *Central City-Commercial (CC-C) District*.

Project Description

The owner proposes to convert two warehouse buildings into four live/work condominiums. The rear 3,900-square-foot reinforced concrete building would be converted into two, 1,950-square-foot, units to be constructed first. The 5,400-square-foot wood-framed building fronting on "B" Street is to be converted into a 2,200-square-foot unit, a 2,750-square-foot unit, and a 450-square-foot two-car garage that would provide parking to these units as Phase 2. All units would include a kitchen, laundry, bathroom and work area on the ground floor. The second floors will include bedrooms, a bathroom, and integrated work and living areas. It is planned that the conversion of Phase 2 will begin while conversion of Phase 1 is ending.

The project requires a conditional use permit to allow multiple-family dwelling units on the first floor in the *CC-C Subdistrict*. Since the project is being constructed to residential building code requirements, commercial uses are limited to those allowed as home occupations. When the City adopts a Live/Work Ordinance, the applicants intend to apply to operate the project as such. At this time, commercial uses allowed within the *CC-C Subdistrict* can be considered.

A variance is required to allow backing of vehicles into "B" Street because vehicles exiting any multi-family development are required to enter the street forward. If the variance is not approved, staff recommends that the area that is proposed to be converted to a garage be converted to commercial-office or retail space or incorporated as part of the living areas of the proposed dwelling units. If the variance is approved, staff recommends that the garage doors be relocated to avoid possible interference with an existing Sycamore tree.

Design

The "B" *Street Special Design Streetcar District (SD-1)* requires materials to be sympathetic to original Victorian, Colonial Revival, or Craftsman styles. The prominent features that are common in this neighborhood are porches, brackets and cornices. Therefore, the buildings should include these basic design elements. And the proposed modifications to the buildings are consistent with the special design overlay district and the Design Guidelines.

The building fronting "B" Street has a false façade obscuring a gable roof. The rear building has a flat roof that will be converted to a gable roof. The proposed roofs are gray metal standing seam with skylights. Standing metal seem roofs can be found in the immediate area on City Hall and Albertsons. Metal roofs were common for warehouse and commercial buildings during the Victorian and Craftsman eras. The façade will be augmented with cornice caps and both buildings will have Craftsman elements such as decorative brackets. All exterior walls of both buildings will be finished with a variety of earthtone green stucco replacing a mixture of stucco, corrugated metal and painted concrete block.

The windows will be replaced with larger, double paned windows. Additional windows will be installed on all sides of the front building and on the courtyard side of the building in the rear of the site. Both buildings will have solid glass block windows on the track side and the rear building will have glass block insets on the west side adjacent to the residential lot. The windows will be inset about 7 inches and will have thick windowsills and lintels above the

windows, entry door and garage doors on the "B" Street frontage. The widow trim color is off-white. The "B" Street façade is designed to be symmetrically balanced with raised off-white score lines, as is the building in the rear. In addition, the "B" Street façade will have a half-door entrance gate, a trellis and driveway gate that have a metal-grid pattern that is designed to mimic the widow design on the "B" Street façade (See Plans:A-17). The words "Hayward Lofts" will appear in metal block capital letters on the front of the building just above the window located on the west side of the building.

The front unit can be entered from a front door on "B" Street and the unit located in the rear of the "B" Street building can be entered from the patio located adjacent to the courtyard. The "B" Street units will share a common two-car garage. Both units can be accessed from the interior of the garage. The metal door entries to the units in the rear building are protected by covered stoops.

Decorative lighting will be provided in the multi-purpose area, in the driveway and above all entries. The lighting fixtures and decorative elements of the all the front entries are to match and be compatible with the architecture styles in the neighborhood.

Staff has worked with the applicants to achieve a design that is reflective of the character of the live-work environment that includes the most prominent design elements of the neighborhood. The proposed design meets the basic requirements of the Design Guidelines and the Hayward Downtown Historic Rehabilitation District. However, staff is of the opinion the appearance of the building would be improved if the "B" Street façade were further embellished. Staff recommends the addition of a metal entry cover with brackets over the front entry of the "B" Street building which is consistent with the design of the entry covers on the rear building and gives the appearance of a porch. Also recommended are elements that would further break up the flatness of the front façade. These elements include the expansion of the cornice width, the addition of brackets below the cornice, augmented raised stucco or tile elements framing the windows and entry.

The project was informally reviewed by the Citizen's Advisory Board (CAB), which disagrees with staff that the building façade should be further embellished. The CAB recommends approval of the project as proposed with the minor modification of the substitution of wood balconies in the rear of the front building to metal with metal mesh sides to match the gate. The CAB does not recommend the addition of an entry awning on the "B" Street façade because they feel it detracts from the historic industrial look of the building, which was constructed in 1945. They did not specifically address the proposed garages on "B" Street.

A 2,290-square-foot asphalt courtyard separates the buildings and is accessible from a driveway located on the west side of the site. The asphalt in the courtyard will be replaced with decorative concrete. A 10-foot masonry wall will replace the chain link fence between the buildings along the railroad tracks. Climbing vines and shrubs will be planted on the outside of the wall. The wall will buffer ground level noise from the train. However, the wall will not screen engine noise since the train height can reach 19 feet, 6-inches or noise from the raised BART track. A chainlink fence on the west side of the property will be replaced with a 6-foot redwood fence that

will decrease to 3 feet in height toward "B" Street as required by the SD-1 District. Mature trees are located on the west property line adjacent to the courtyard. These trees will remain.

Noise

Because the project is adjacent to the Union Pacific railroad and BART tracts, a noise and vibration study was completed. As a condition of approval, the noise mitigation measures of the study are required to be implemented. In addition, the applicants have proposed that all windows be replaced with double paned windows with the highest sound transmission control (STC) rating available which will reduce the ambient interior noise to 45dBA.

Open Space

The Downtown Hayward Design Plan allows the requirement for open space to be waived for remodeling or conversion of existing buildings. The project provides a 2,290-square-foot decorative concrete common courtyard/multi-purpose area that exceeds the required 300 square feet of group open space. In addition, the rear unit in the front building has a 168-square-foot entrance patio with a 6-foot wall to assure the privacy of the rear unit of the "B" Street building. This unit also has a 198-square-foot second floor covered wood deck. This is the only unit with private space. However, the open space cannot be considered to be usable because of the noise from the nearby railroad and BART.

Staff recommends that the Planning Commission waive the requirement for private and group open space as allowed for conversions of existing buildings pursuant to the Zoning Ordinance. Cannery Park is located four blocks westerly on "B" Street and Library Plaza is located 3 blocks southeast of the site. In addition, the applicant is required to pay park in-lieu fees prior to the issuance of building permits to augment existing parks.

Parking and Transportation

Additional parking is not required to be provided when a building is remodeled in the CC-C District. However, the applicant has provided two covered parking spaces to be used by the front units and the multi-purpose courtyard can be used as parking with availability to be supervised by the residents. In addition, the chainlink gate located at the rear of the front building will be removed and replaced with a 4-foot decorative iron security gate located 10 feet behind the front property line to secure vehicles parked in the courtyard or to keep them available when used as group open space. However, due to potential traffic hazards to pedestrians and vehicles, staff strongly objects to vehicles regarding the backing over the sidewalk out onto "B" Street and recommends that the area designated for a garage be used for a small commercial storefront, office space or incorporated into the live/work area.

The project is located across the street from Hayward BART and Downtown Hayward Transit Center. Therefore, the opportunities to utilize public transportation are abundant. In addition, it is walking distance from shopping, banking and other services.

Conformance to the General Polices Plan, Zoning Ordinance, the Downtown Hayward Design Plan and the Mark's Historic Rehabilitation District

The General Policies-Plan Designation is *Retail and Office Commercial (ROC)* and the zoning designation is *Central City-Commercial (CC-C), "B" Street Special Design Streetcar District (SD-1)*. The conversion of two warehouse/commercial buildings to multi-family live/work units is consistent with both the Zoning Ordinance and the General Policies Plan designation.

The project is consistent with policies and development standards of the Downtown Hayward Design Plan, which recognizes this property to be developed with uses including retail, office and multi-family residential. The Downtown Hayward Design Plan permits up to 17 units per acre that allows one unit for each 2567 square feet of parcel area. This would allow this site to be developed with 4 units. As proposed, the density is not exceeded. The buildings sit on the property line, which is permitted. The height limit of 55 feet will not be exceeded. In addition, the project complies with the guidelines that govern rehabilitation within the Mark's Historic Rehabilitation District which are specified in the Hayward Downtown Historic Rehabilitation District Commercial Design Manual. The guidelines require the maintenance of the line of the front building wall at the sidewalk, the colors used are compatible, decorative embellishment such as cornices have been provided. Furthermore, the upper facades have more wall than window area.

Schools

The development will not generate a number of students that cannot be served by existing facilities. Using the Student Generation Factors for multi-family residences, as provided by the Hayward Unified School District, it is projected that this 4-unit development will generate approximately 1 student that can be accommodated by Burbank Elementary, Winton Middle School or Hayward High School. In addition, school fees will be collected prior to the issuance of a building permit. Typically, there are fewer children associated with the live/work living style, as privacy is often an issue

ENVIRONMENTAL REVIEW:

It has been determined that this project is categorically exempt from the guidelines of the California Environmental Quality Act, pursuant to Section 15303; (Class 3- Construction or Conversion of Small Structures.)

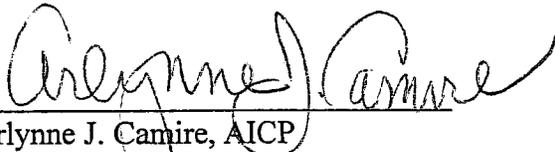
PUBLIC NOTICE:

On November 11, 2002, a notice was mailed to every property owner and occupant within 300 feet of the subject site, as noted on the latest assessor's records. Notice was also provided to the Burbank Neighborhood Task Force and the Union Pacific Railroad. No responses were received from the notice.

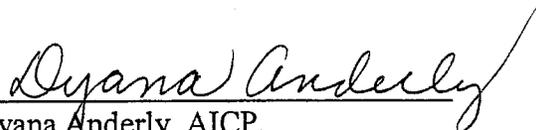
CONCLUSION

The proposed project is consistent with adopted land use policies of the General Policies Plan, the Downtown Hayward Design Plan and the Mark's Historic Rehabilitation District. The project also meets all applicable requirements of the Zoning Ordinance and other applicable ordinances. While the project is located in the "B" Street Special Design Streetcar District, it does not follow the architectural styles of Victorian, Colonial Revival nor Craftsman because it is a conversion of existing warehouse buildings. In addition, the project provides an opportunity for home ownership of transit-oriented housing. Staff recommends that the Conditional Use Permit be approved as conditioned. However, due to the introduction of a potential traffic hazard, staff does not recommend approval of the variance that would allow vehicles to back over the sidewalk onto "B" Street.

Prepared by:


Arlynne J. Camire, AICP
Associate Planner

Recommended by:


Dyana Anderly, AICP.
Planning Manager

Attachments:

- A. Area Map
- B. Findings for Approval of Use Permit
- C. Findings for Denial of Variance
- D. Conditions of Approval of Use Permit Plans

DRAFT

RESOLUTION NO. _____

Introduced by Council Member _____

me
1/8/03

RESOLUTION APPROVING USE PERMIT NO. PL 2002-0122, CONCERNING A REQUEST TO CONVERT TWO WAREHOUSES TO FOUR LIVE/WORK UNITS AND DENYING VARIANCE APPLICATION NO. PL-2002-0291 TO ALLOW VEHICLES TO BACK OUT ONTO B STREET

WHEREAS, Use Permit Application No. PL-2002-0122 concerns a request to convert two warehouses to four live/work units located at 628 B Street, between Grand Street and BART Right of Way in the Central City-Commercial/B Street Special Design Streetcar (CC-C-SD-1) District, and Variance Application No. PL-2002-0291 involves a request to allow vehicles to back out onto B Street where forward motion is required; and

WHEREAS, On November 21, 2002, the Planning Commission approved (5:1:1) the use permit to allow conversion of two warehouses into 4 live/work units and the variance application allowing vehicles to back out where forward motion is required; and

WHEREAS, the City Council of the City of Hayward, hereby finds and determines that:

Findings of Approval - Use Permit Application No. PL 2002-0122

1. The approval of Conditional Use Permit Application NO. PL-2002-0122, as conditioned, will have no significant impact on the environment, cumulative or otherwise. The Project reflects the City's independent judgment, and the project is categorically exempt from the California Environmental Quality Act (CEQA), pursuant to Section 15303, of the CEQA Guidelines (New Construction or Conversion of Small Structures);
2. The proposed project will provide an opportunity for homeownership of transit-oriented units which is desirable for the public convenience and welfare;
3. The proposed units will not impair the character and integrity of the zoning district and surrounding area in that the residential character of the B Street Streetcar Special Design District will be maintained and the rehabilitation of the property will be an enhancement to the downtown;
4. The proposed units will not be detrimental to the public health, safety, or general welfare in that the proposal will meet all requirements of all applicable Zoning, Building and Fire codes and conditions of approval require that the property be maintained in a litter-free graffiti-free condition, with no outdoor

storage; and design measures shall be incorporated to mitigate noise and vibration;

5. The proposal is compatible with the policies and strategies of the General Policies Plan and the Mark's Historic Rehabilitation District in that the site will retain the character of the Historic District and Downtown.

Findings for Denial - Variance Application No. PL-2002-0291

1. There are no special circumstances applicable to the property including size, shape, topography, location or surroundings, or other physical constraints. The property is well suited for multiple-family development, but the sitting building location makes it infeasible to provide a vehicle turn-around thereby allowing for a potential unsafe situation if a vehicle is permitted to back into B Street;
2. Strict application of the Zoning Ordinance does not deprive such property of privileges enjoyed by other property in the vicinity under the same zoning classification. Single-Family Residential properties fronting B Street have garages facing the street with no turnaround and backing onto B Street is permitted. However, backing onto B Street over the right-of-way from the multi-family residential and commercial properties are not permitted because of the potential unsafe situation;
3. The variance would constitute a grant of a special privilege inconsistent with the limitations upon other properties in the vicinity and zone in which the property is situated in that other commercial properties have provisions to allow vehicles to enter B Street without backing over the right-of-way.

NOW, THEREFORE, BE IT RESOLVED that the City Council of the City of Hayward based upon the aforementioned findings, hereby upholds the Planning Commission decision and approves Use Permit Application No. PL-2002-0122, subject to the attached conditions of approval.

BE IT FURTHER RESOLVED that the City Council of the City of Hayward hereby denies Variance Application No. PL-2002-0291 based upon the aforementioned findings.

IN COUNCIL, HAYWARD, CALIFORNIA _____, 2003

ADOPTED BY THE FOLLOWING VOTE:

AYES: COUNCIL MEMBERS:

MAYOR:

NOES: COUNCIL MEMBERS:

ABSTAIN: COUNCIL MEMBERS:

ABSENT: COUNCIL MEMBERS:

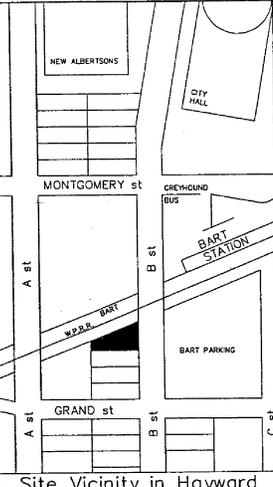
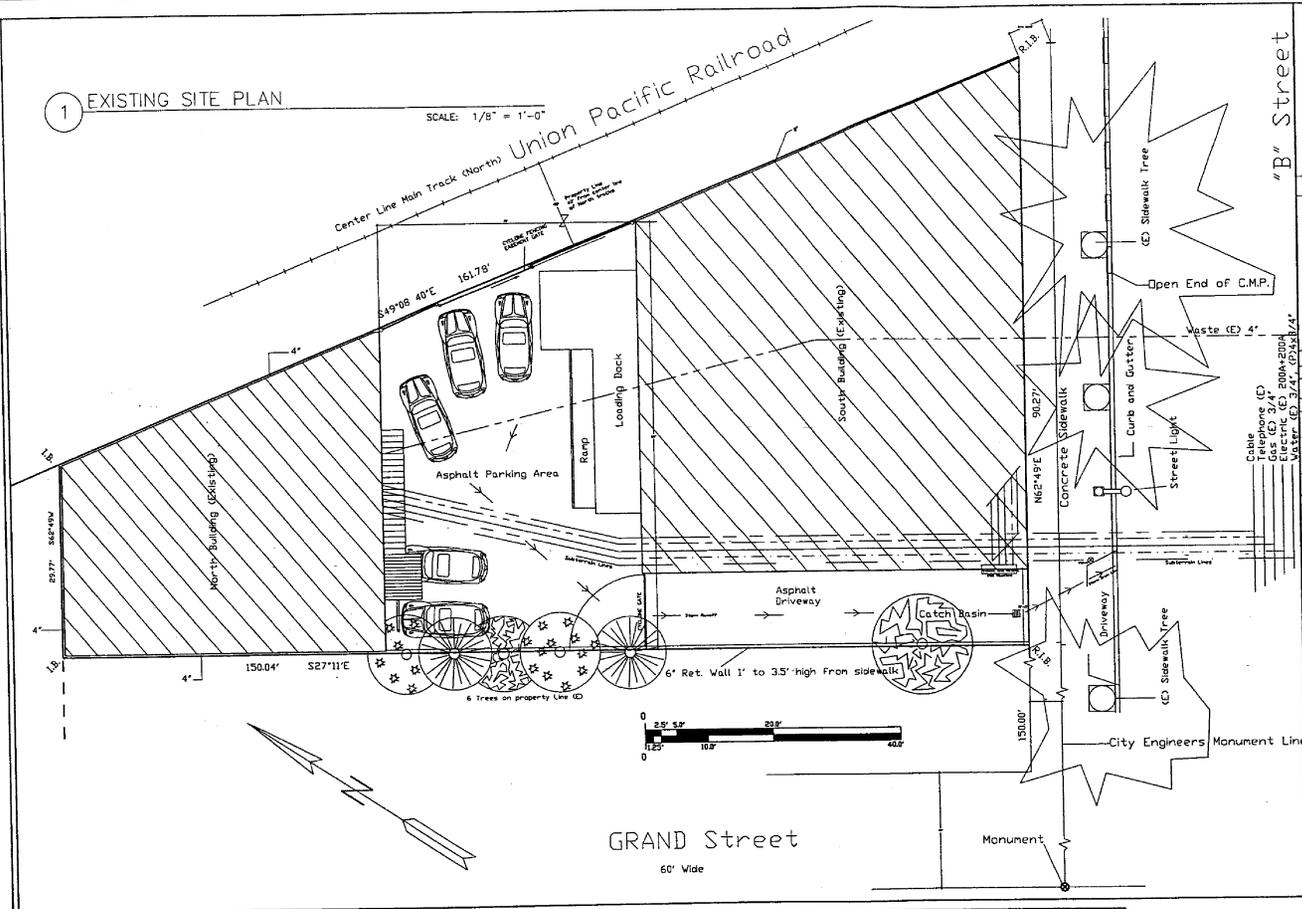
ATTEST: _____
City Clerk of the City of Hayward

APPROVED AS TO FORM:

City Attorney of the City of Hayward

1 EXISTING SITE PLAN

SCALE: 1/8" = 1'-0"



Hayward Lofts LLC
DESIGNS - BUILDINGS

628 B Street
Hayward, CA
94541

TEL: 510-278-6662
FAX: 510-278-6662

ISSUES AND REVISIONS

No.	Date	Description	By
1	12/02/01	Initial Issue	MAW

Site Vicinity in Hayward

SHEET INDEX:

No.	CONTENT
A-00	Site Plan Existing
A-01	Site Plan Proposed
A-02	North Bldg, 1st Floor
A-03	N. Bldg 2nd Floor
A-04	N. Bldg Roof
A-05	N. Bldg Section 1
A-06	N. Bldg Section 2, Elev. E
A-07	N. Bldg Elevations S,N,W
A-08	South Bldg 1st Floor Ex.
A-09	S. Bldg 1st Floor Prop.
A-10	S. Bldg 2nd Floor
A-11	S. Bldg Roof
A-12	S. Bldg Sections 3 & 5
A-13	S. Bldg Section 4a & b
A-14	S. Bldg Elevation S & E
A-15	S. Bldg Elevation N & W
A-16	Total East Elevation
A-17	
A-18	
A-19	
A-20	

PROJECT: **LIVE - WORK LOFTS, Warehouse Conversion**
628 "B" STREET
HAYWARD, CALIFORNIA 94541
APN: 431-4-91

PROPOSED PROJECT: Change the use of 628 B St., two existing light commercial structures, to Joint Living Quarters.

RECEIVED
JUL 03 2002
PLANNING DIVISION

SYMBOLS / LEGEND

	NEW CONCRETE		ROOM NAME		DOOR TAG
	EXISTING CONSTRUCTION TO BE REMOVED		FLOOR FINISH		WINDOW TAG
	EXISTING WALL TO REMAIN		CEILING HEIGHT		ELEVATION MARK
	NEW WALL		SECTION MARK		LOCATION HEIGHT
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	SOFFIT				

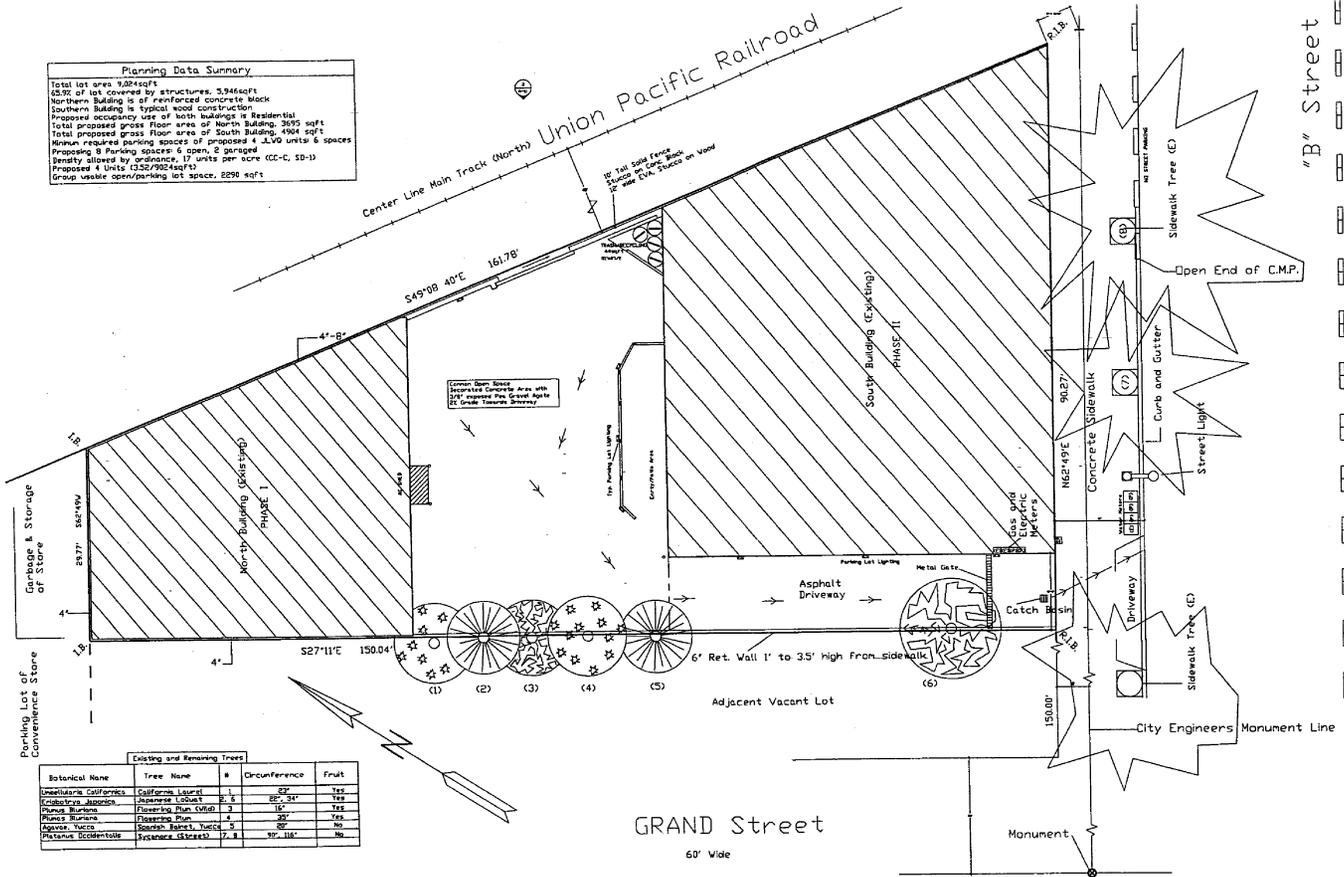
JOB#: 01A
DATE: 12/02/01
DWN: MAW
SCALE: 1/4"=1'-0" if not noted

SHEET TITLE:
Existing Site Plan
Hayward Location
Brief Proposal

A-00

Planning Data Summary

Total lot area 9,084 sqft
 65.7% of lot covered by structures, 5,946 sqft
 Northern Building is of reinforced concrete block
 Southern Building is typical wood construction
 Proposed occupancy use of both buildings is Residential
 Total proposed gross floor area of North Building, 2695 sqft
 Total proposed gross floor area of South Building, 4904 sqft
 Proposed 8 parking spaces 6 open, 2 garaged
 Minimum required parking spaces of proposed 4 JLVU units 6 spaces
 Proposed 4 units (3,527,990 sqft)
 Density allowed by ordinance, 17 units per acre (CC-C, SD-1)
 Proposed 4 units (3,527,990 sqft)
 Group usable open/parking lot space, 2298 sqft



Existing and Remaining Trees

Botanical Name	Tree Name	#	Circumference	Foot
Opuntia Californica	California Cholla	1	23"	Yes
Industria Associa	Redwood Locust	3	26", 34"	Yes
Pinus Murrayana	Plains Pinon Quail	1	16"	Yes
Pinus Murrayana	Plains Pinon	4	29"	Yes
Agavea Yucca	Spanish Broom Yucca	9	30"	No
Pithecellobium	Yucca	1	37", 18"	No



2 Proposed Site Plan SCALE: 1/8" = 1'-0"

SYMBOLS / LEGEND

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	NEW WALL		SECTION MARK		
	1-HR FIRE RATED WALL (TYP. @ P.L.)				
	SOFFIT				
	LOCATION HEIGHT				

Hayward Lofts LLC
 DESIGNS - BUILDINGS

628 B Street
 Hayward, CA
 94541
 TEL: 510-278-6662
 FAX: 510-278-6662

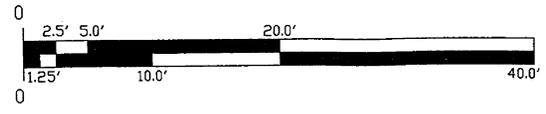
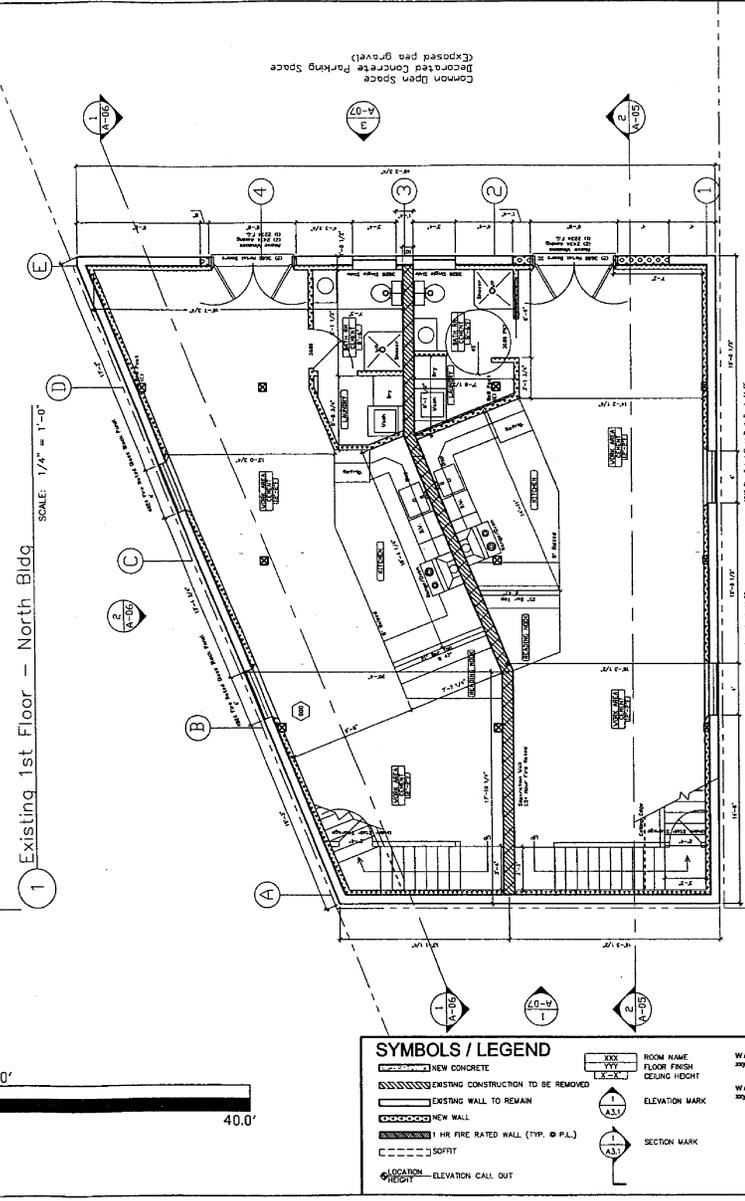
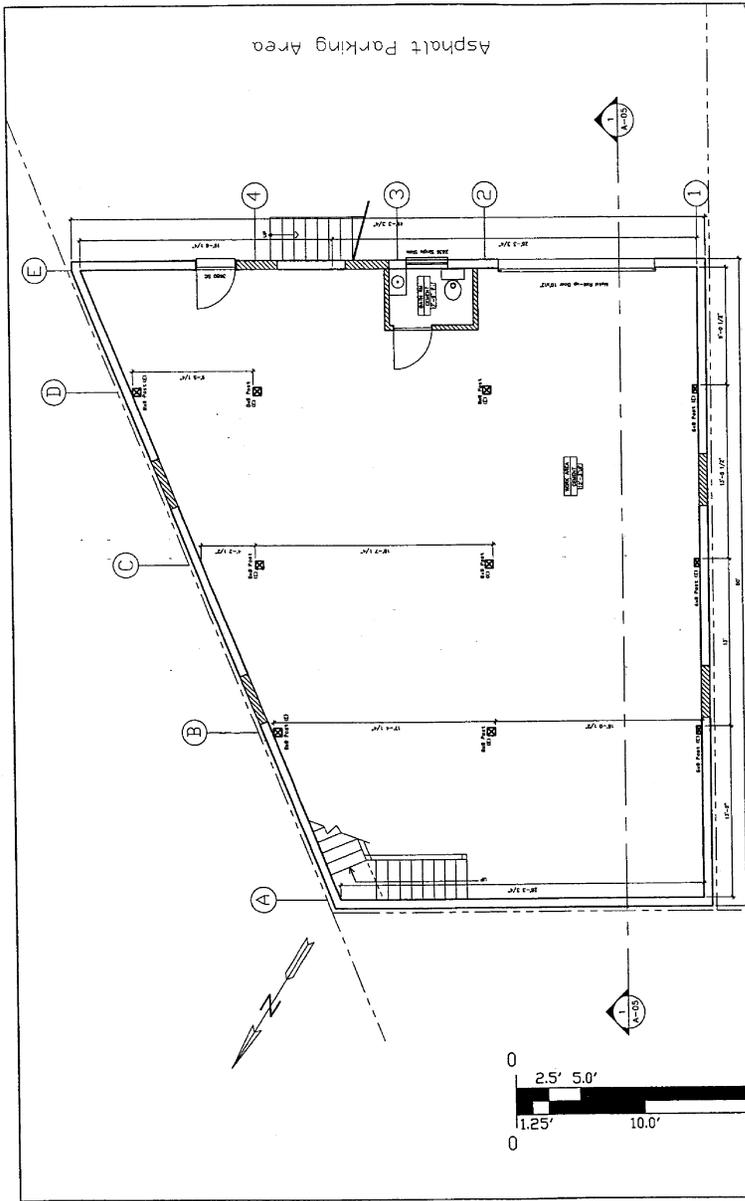
ISSUES AND REVISIONS

NO.	DATE	BY
1	12/20/01	BAW
2	12/20/01	BAW

PROJECT:
 LIVE - WORK LOFTS,
 Warehouse Conversion
 628 "B" STREET
 HAYWARD, CALIFORNIA 94541
 APN: 431-4-91

JOB: 01A
 DATE: 12/20/01
 DWN: BAW
 SCALE: 1/8"=1'-0" if not noted

SHEET TITLE:
 Proposed Site Plan
 A-01



SYMBOLS / LEGEND		ROOM NAME	W/FH	DOOR TAG
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	NEW WALL			
	1 HR FIRE RATED WALL (TYP. @ P.L.)			
	SOFFIT			
	ELEVATION CALL OUT			
	SECTION MARK			

Hayward Lofts LLC
DESIGNS - BUILDINGS

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Hayward, CA
94541

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ISSUES AND REVISIONS

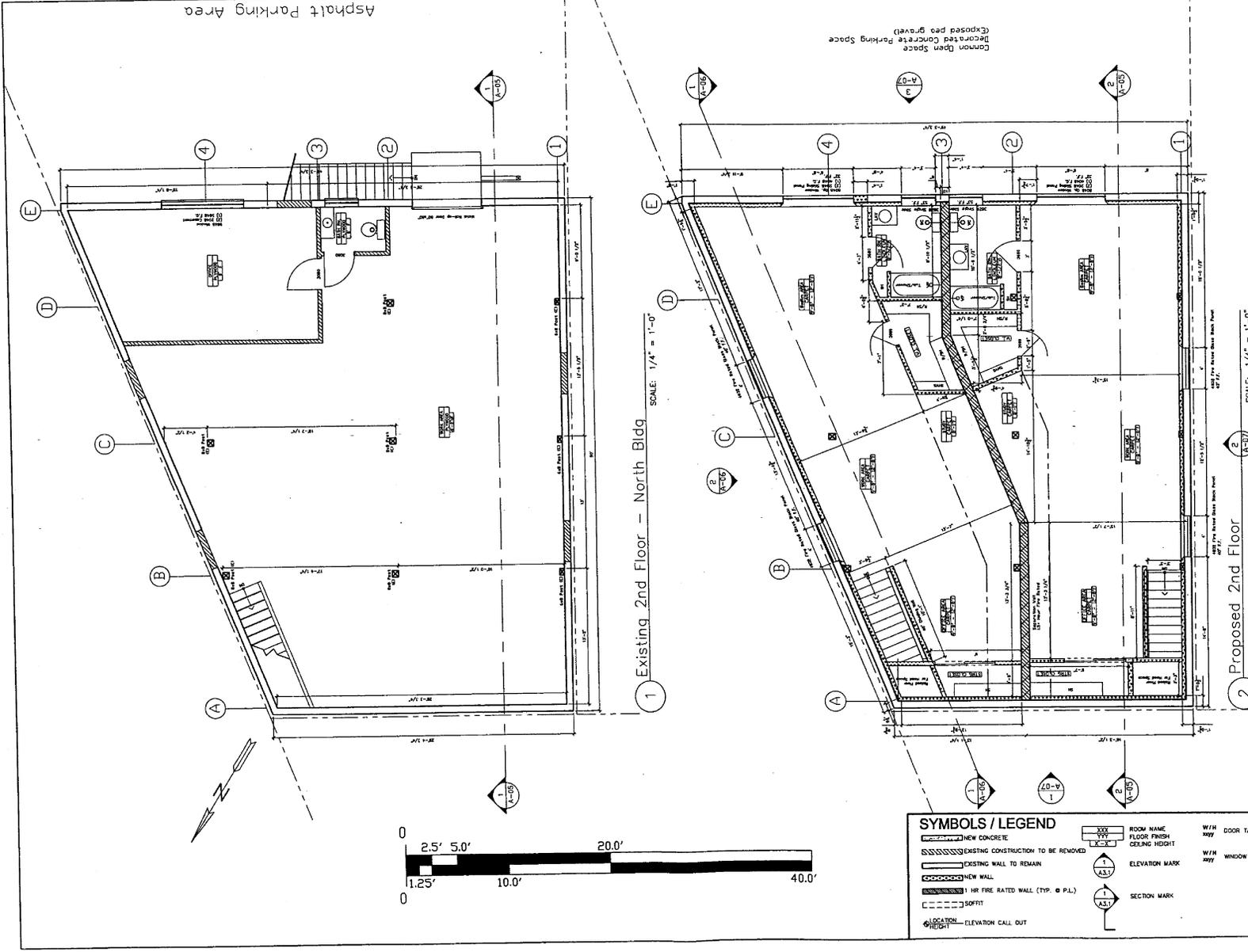
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1	12/20/01	MAW	Coordinate Line Point
2	12/20/01	MAW	Coordinate Line Point, X

PROJECT:
**LIVE - WORK LOFTS,
Warehouse Conversion
628 "B" STREET
HAYWARD, CALIFORNIA 94541
APN: 431-4-91**

JOB: 01A
DATE: 12/20/01
DWN: MAW
SCALE: 1/4"=1'-0" if not noted

SHEET TITLE:
**North Bldg Phase I
Existing 1st Floor
Proposed 1st Floor**

A-02



1 Existing 2nd Floor - North Bldg
SCALE: 1/4" = 1'-0"

2 Proposed 2nd Floor
SCALE: 1/4" = 1'-0"

SYMBOLS / LEGEND

	NEW CONCRETE		ROOM NAME		W/H DOOR TAG
	EXISTING CONSTRUCTION TO BE REMOVED		FLOOR FINISH		W/H WINDOW TAG
	EXISTING WALL TO REMAIN		CEILING HEIGHT		
	NEW WALL		ELEVATION MARK		
	1 HR FIRE RATED WALL (TYP. @ P.L.)		SECTION MARK		
	SOFFIT				
	ELEVATION CALL OUT				

Hayward Lofts LLC
DESIGNS • BUILDINGS

628 B Street
Hayward, CA
94541

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ISSUES AND REVISIONS

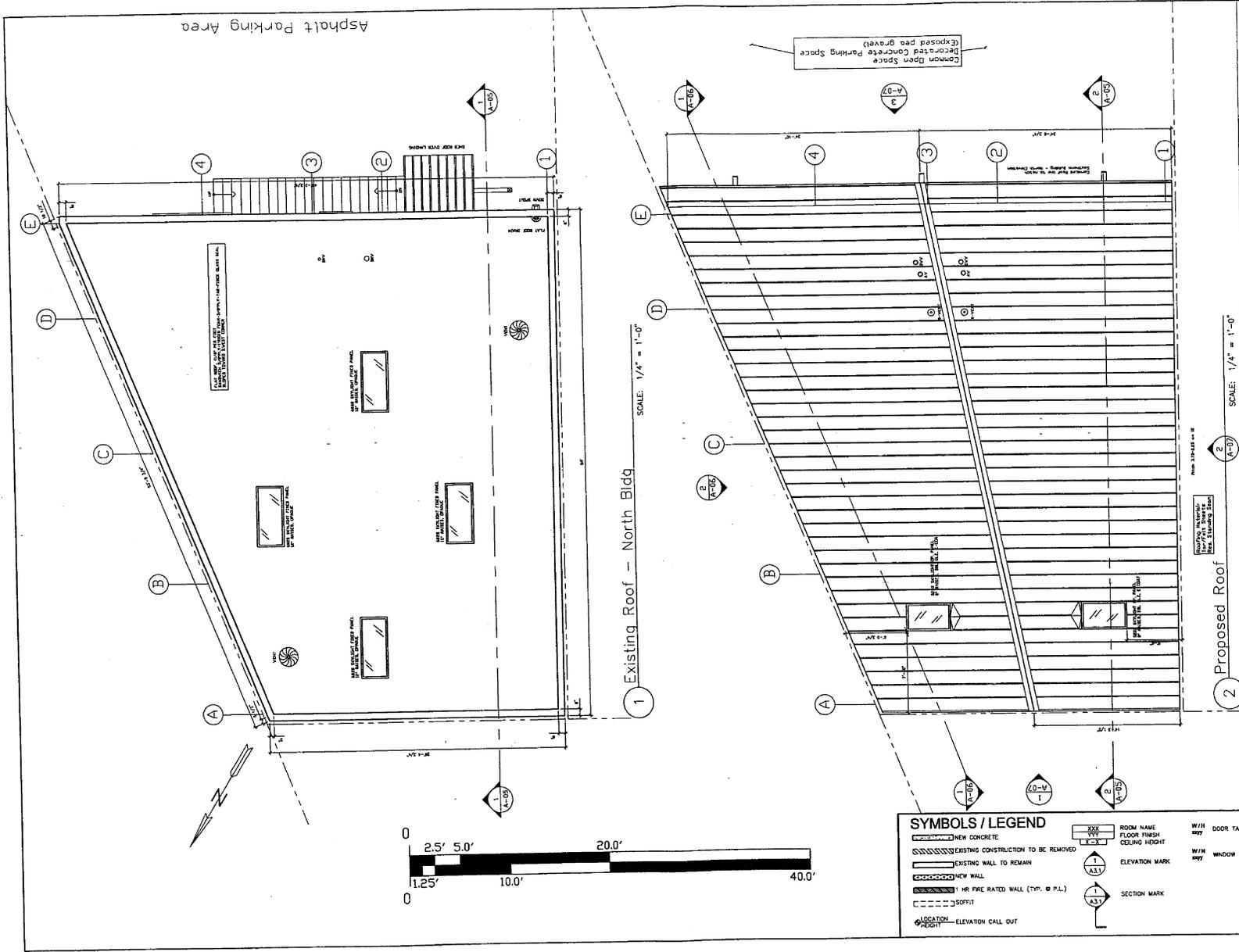
NO.	DATE	BY	DESCRIPTION
1		MAW	CONDITIONAL USE PERMITS
2		MAW	CONDITIONAL USE PERMITS

PROJECT:
LIVE - WORK LOFTS,
Warehouse Conversion
628 "B" STREET
HAYWARD, CALIFORNIA 94541
APN: 431-4-91

JOB#: 01A
DATE: 12/02/01
DWN: MAW
SCALE: 1/4"=1'-0" if not noted

SHEET TITLE:
North Bldg Phase I
Existing 2nd Floor
Proposed 2nd Floor

A-03

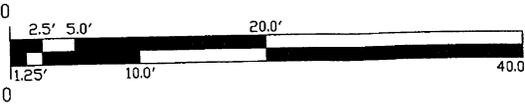


Asphalt Parking Area

Common Open Space Parking Space
(Exposed per gravel)

1 Existing Roof - North Bldg
SCALE: 1/4" = 1'-0"

2 Proposed Roof
SCALE: 1/4" = 1'-0"



SYMBOLS / LEGEND		ROOM NAME	DOOR TAG
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[Symbol]	LOCATION - ELEVATION CALL OUT		
[Symbol]	RIGHT		

Hayward Lofts LLC
DESIGNS - BUILDINGS

628 B Street
Hayward, CA
94541

TEL: 510-278-6662
FAX: 510-278-6662

ISSUES AND REVISIONS

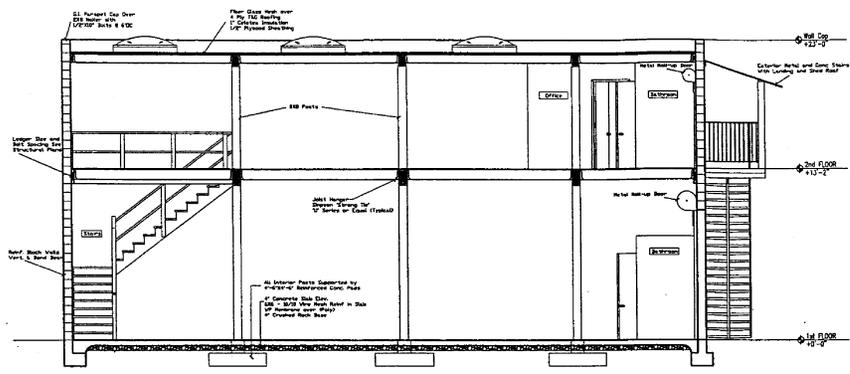
NO.	DATE	BY	REVISION
1	12/02/01	MAV	Completed the Plans
2	12/02	MAV	Completed the Plans, X

PROJECT:
**LIVE - WORK LOFTS,
Warehouse Conversion
628 "B" STREET
HAYWARD, CALIFORNIA 94541
APN: 437-4-91**

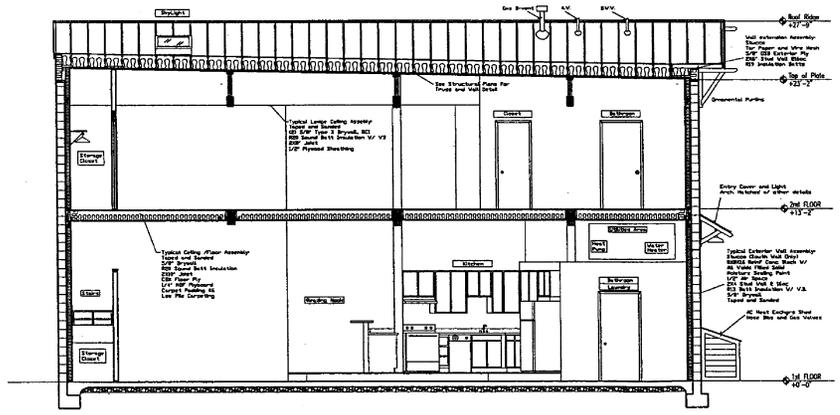
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DATE: 12/02/01
DWN: MAV
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SHEET TITLE:
**North Bldg Phase I
Existing Roof
Proposed Roof**

A-04



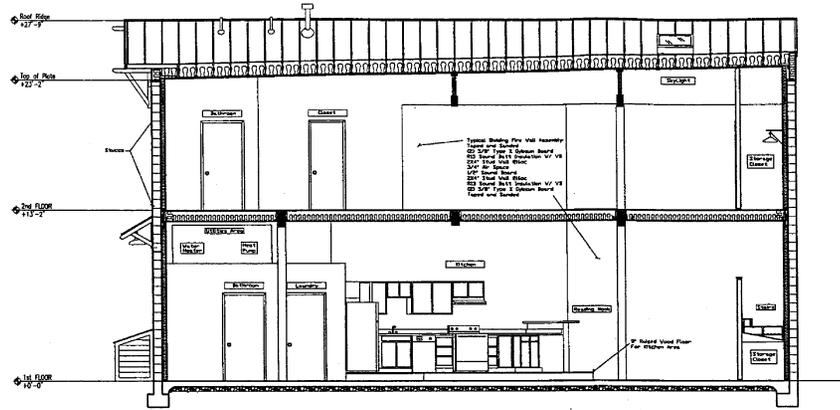
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SCALE: 1/4" = 1'-0"



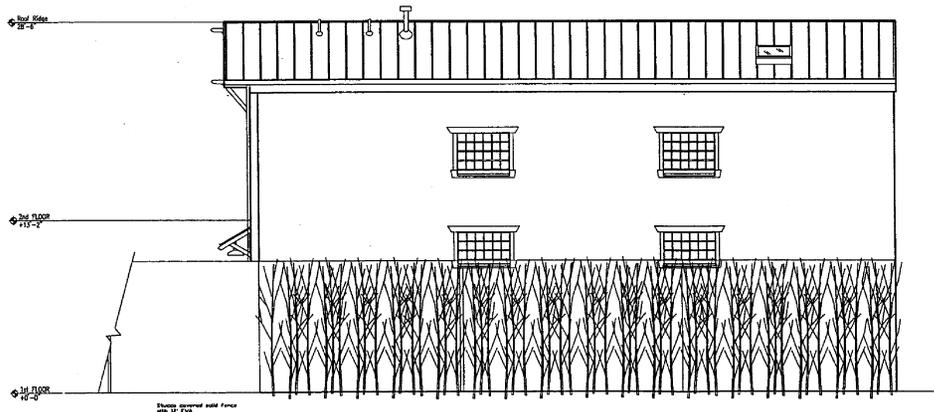
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SCALE: 1/4" = 1'-0"



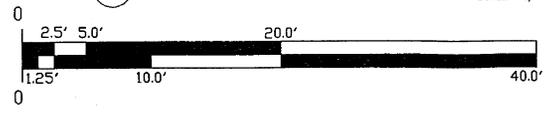
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[Pattern]	SOFFIT	1	W/W
[Symbol]	LOCATION - ELEVATION CALL OUT HEIGHT	A3.1	



1 Proposed Section 1 - North Bldg
SCALE: 1/4" = 1'-0"



2 Proposed East Elevation
SCALE: 3/4" = 1'-0"



SYMBOLS / LEGEND			
	NEW CONCRETE		ROOM NAME
	EXISTING CONSTRUCTION TO BE REMOVED		FLOOR FRESH
	EXISTING WALL TO REMAIN		CEILING HEIGHT
	NEW WALL		ELEVATION MARK
	1 HR FIRE RATED WALL (TYP. @ P.L.)		SECTION MARK
	SOFFIT		
	LOCATION		
	HEIGHT		
	DOOR TAG		WINDOW TAG

Hayward Lofts LLC
DESIGNS - BUILDINGS

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ISSUES AND REMARKS

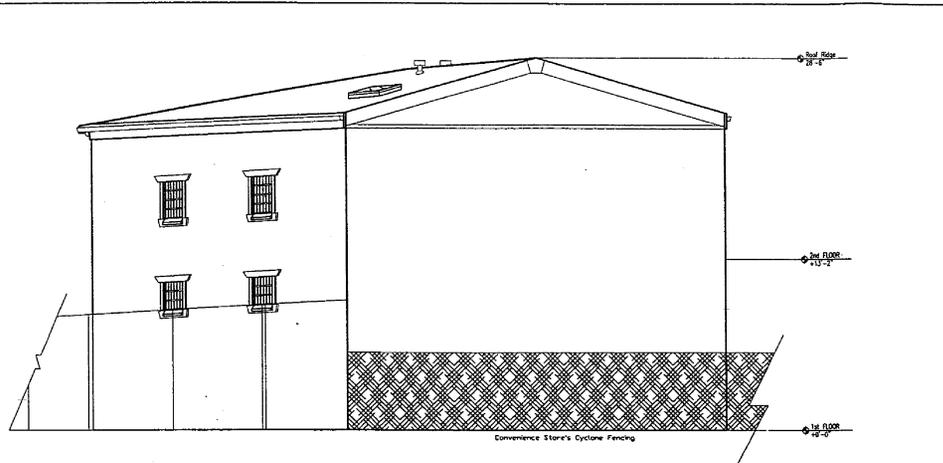
NO.	DATE	BY	REVISION
1	12/20/01	NSW	Conditional Use Permit
2	12/20/01	NSW	Conditional Use Permit #

PROJECT:
LIVE - WORK LOFTS,
Warehouse Conversion
628 "B" STREET
HAYWARD, CALIFORNIA 94541
APN: 431-4-91

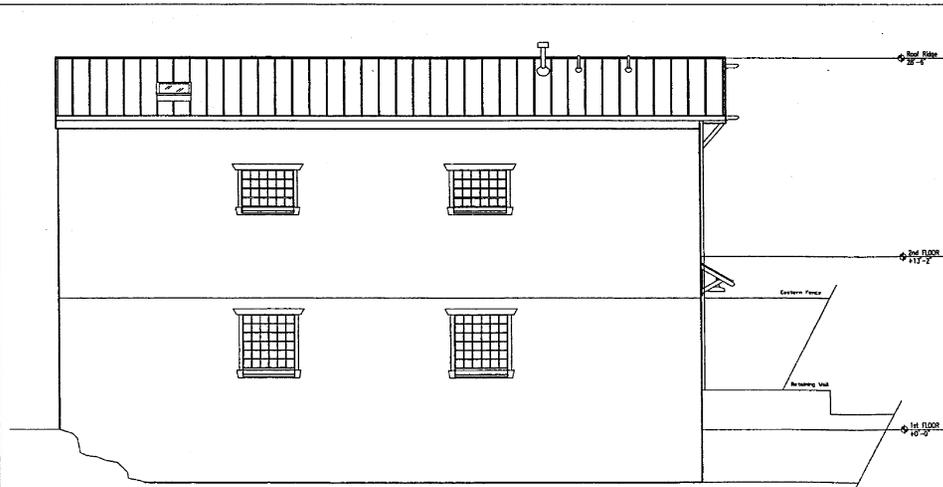
JOB#: 01A
DATE: 12/20/01
DWN: NSW
SCALE: 1/4"=1'-0" if not noted

SHEET TITLE:
North Bldg Phase I
Proposed Section 1
Proposed East Elev.

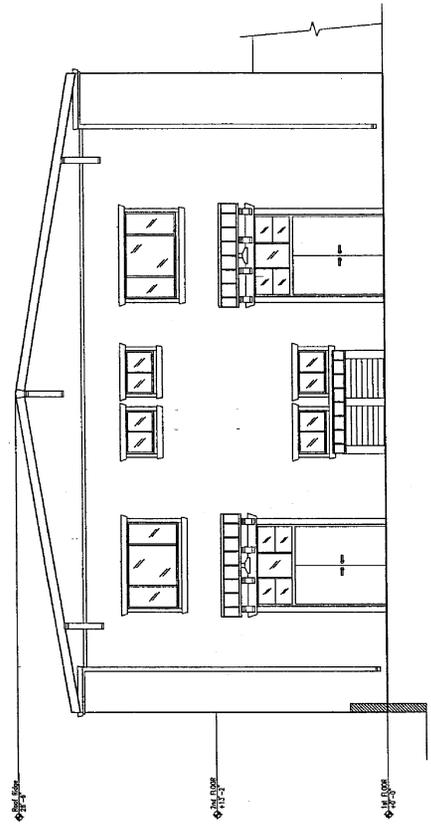
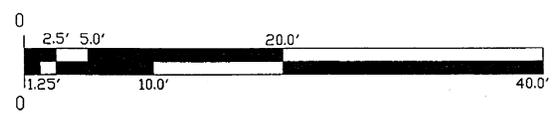
A-06



1 Proposed North Elevation
SCALE: 1/4" = 1'-0"



2 Proposed West Elevation
SCALE: 1/4" = 1'-0"



3 Proposed South Elevation
SCALE: 1/4" = 1'-0"

SYMBOLS / LEGEND

	NEW CONCRETE		ROOM NAME		W/M DOOR TAG
	EXISTING CONSTRUCTION TO BE REMOVED		FLOOR FINISH		W/M CEILING HEIGHT
	EXISTING WALL TO REMAIN		ELEVATION MARK		W/M WINDOW TAG
	NEW WALL		SECTION MARK		
	1 HR FIRE RATED WALL (TYP. @ P.L.)				
	SOFFIT				
	ELEVATION CALL OUT				

Hayward Lofts LLC
DESIGNS - BUILDINGS

628 B Street
Hayward, CA
94541

TEL: 510-278-6662
FAX: 510-278-6662

ISSUES AND REVISIONS

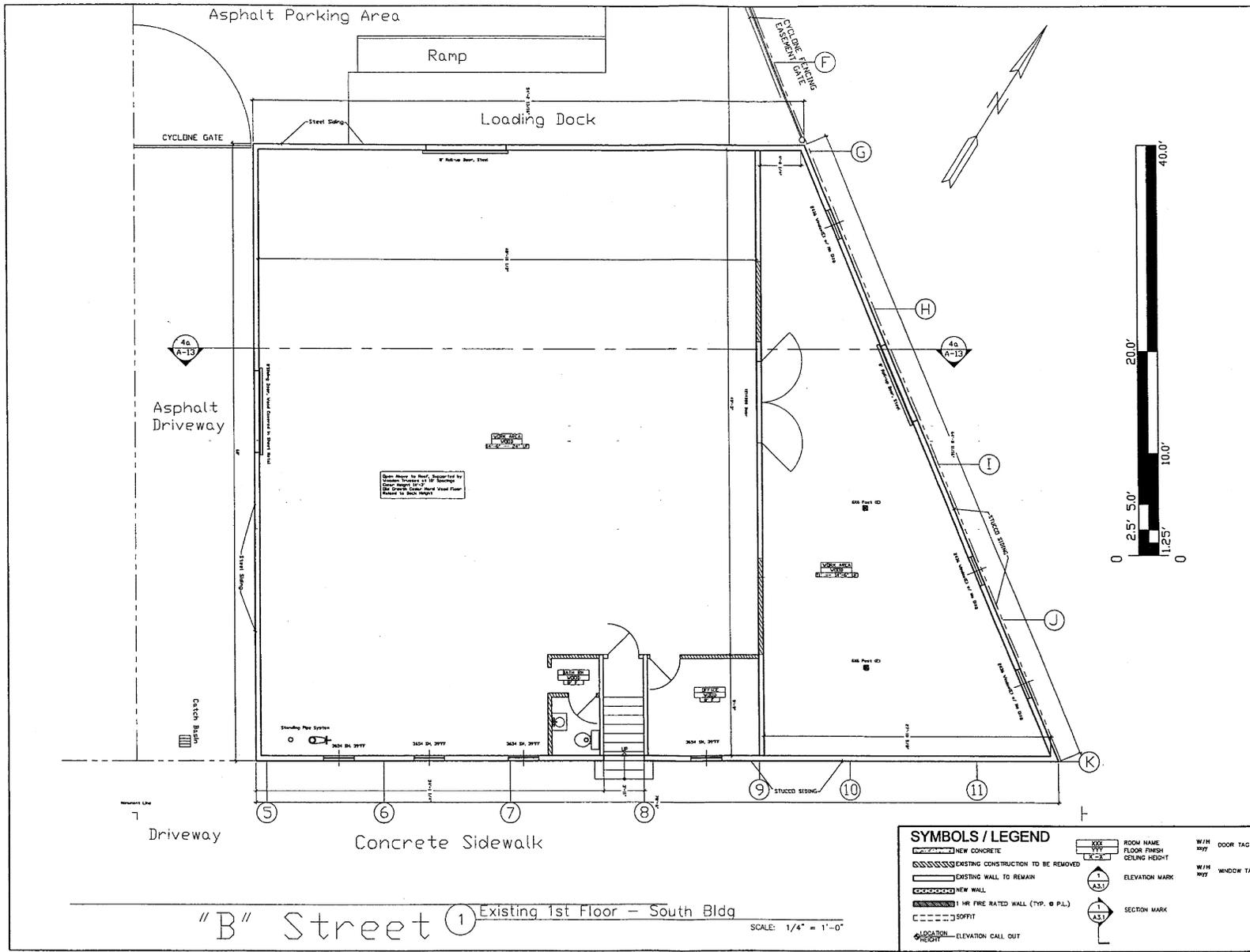
NO.	DATE	BY	REVISION
1	12/20/01	MAW	Coordinate Use Permit
2	12/20/01	MAW	Coordinate Use Permit

PROJECT:
LIVE - WORK LOFTS,
Warehouse Conversion
628 'B' STREET
HAYWARD, CALIFORNIA 94541
APN: 431-4-91

JOB#: 01A
DATE: 12/20/01
DWN: MAW
SCALE: 1/4"=1'-0" if not noted

SHEET TITLE:
North Bldg Phase I
Proposed Elevations
North, West, South

A-07



Hayward Lofts LLC
DESIGNS - BUILDINGS

628 B Street
Hayward, CA
94541

TEL: 510-278-6662
FAX: 510-278-6662

SCALES AND REVISIONS

NO.	DATE	BY	REVISION
1	12/20/01	MAW	Conditional Use Permit, I
2	02/02/02	MAW	Conditional Use Permit, II

PROPERTY:
LIVE - WORK LOFTS,
Warehouse Conversion
628 "B" STREET
HAYWARD, CALIFORNIA 94541
APN: 431-4-91

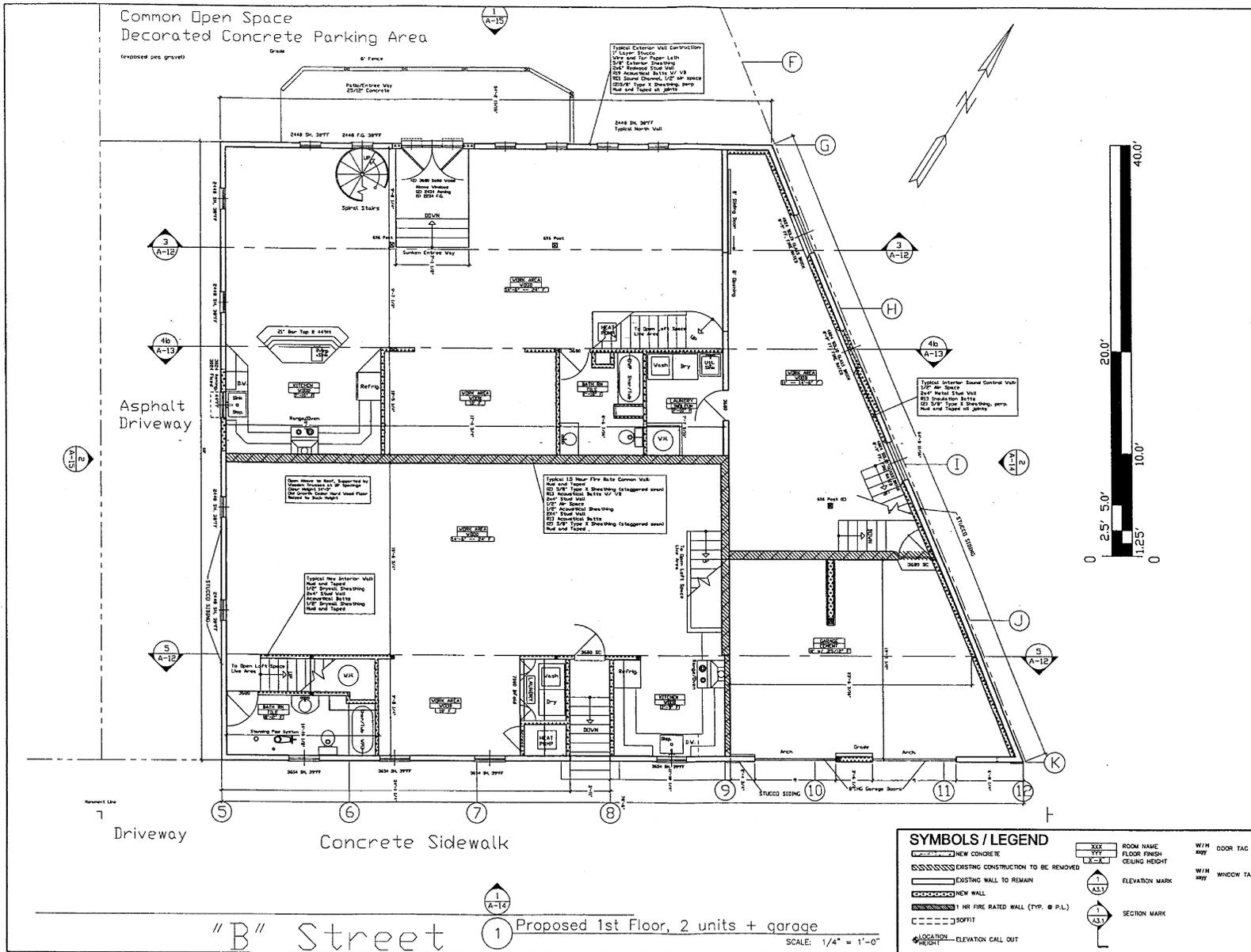
JOB: 01A
DATE: 12/20/01
DWN: MAW
SCALE: 1/4" = 1'-0" if not noted

SHEET TITLE:
South Bldg Phase II
Existing 1st Floor

A-08

SYMBOLS / LEGEND		ROOM NAME	W/H	DOOR TAG
[Symbol]	NEW CONCRETE	FLOOR FINISH	100'	
[Symbol]	EXISTING CONSTRUCTION TO BE REMOVED	CEILING HEIGHT		
[Symbol]	EXISTING WALL TO REMAIN			
[Symbol]	NEW WALL			
[Symbol]	1 HR FIRE RATED WALL (TYP. @ P.L.)			
[Symbol]	SOFFIT			
[Symbol]	LOCATION			
[Symbol]	ELEVATION CALL OUT			
[Symbol]				

"B" Street ① Existing 1st Floor - South Bldg
SCALE: 1/4" = 1'-0"



Hayward Lofts LLC
DESIGNS - BUILDINGS

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Hayward, CA
94541
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FAX: 510-278-6662

ISSUES AND REVISIONS

NO.	DATE	BY	REVISION
1	12/02/01	MAW	CONDITIONAL USE PERMITS
2			
3			
4			
5			

PROJECT:
LIVE - WORK LOFTS,
Warehouse Conversion
628 "B" STREET
HAYWARD, CALIFORNIA 94541
APN: 431-4-97

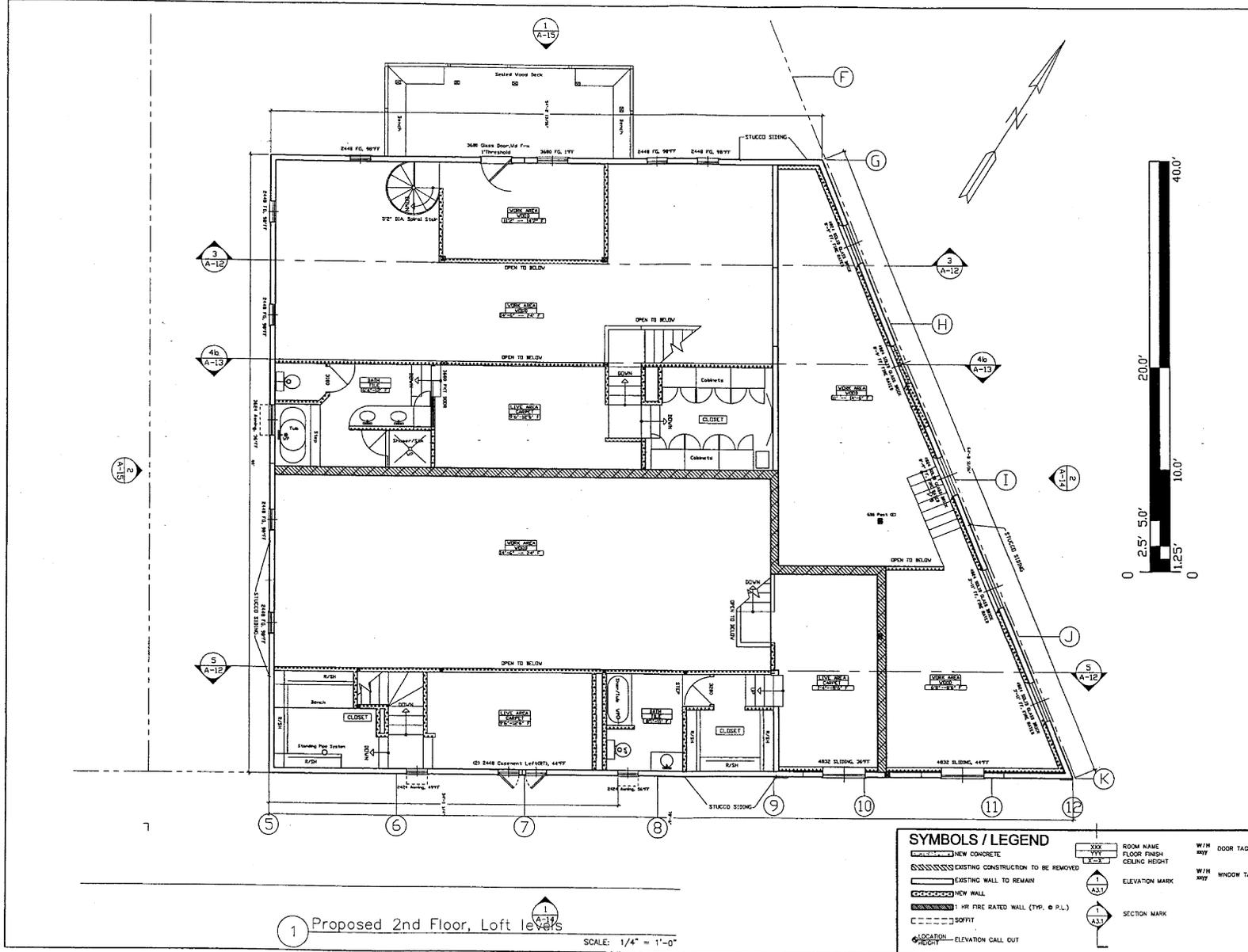
JOB#: 01A
DATE: 12/02/01
DWN: MAW
SCALE: 1/4" = 1'-0" if not noted

SHEET TITLE:
South Bldg Phase II
Proposed 1st Floor

A-09

SYMBOLS / LEGEND

	NEW CONCRETE		ROOM NAME		DOOR TAG
	EXISTING CONSTRUCTION TO BE REMOVED		FLOOR FINISH		WINDOW TAG
	EXISTING WALL TO REMAIN		CEILING HEIGHT		
	NEW WALL				
	1 HR FIRE RATED WALL (F.P. @ P.L.)				
	SOFFIT				
	ELEVATION CALL OUT		ELEVATION MARK		
			SECTION MARK		



1 Proposed 2nd Floor, Loft levels

SCALE: 1/4" = 1'-0"

Hayward Lofts LLC
DESIGNS - BUILDINGS

628 B Street
Hayward, CA
94541

TEL: 510-278-6662
FAX: 510-278-6662

ISSUES AND REVISIONS

NO.	DATE	DESCRIPTION	BY
1	12/02/01	CONDITIONAL USE PERMIT	MMW
2	02/20/02	CONDITIONAL USE PERMIT #2	MMW

PROJECT:
LIVE - WORK LOFTS,
Warehouse Conversion
628 "B" STREET
HAYWARD, CALIFORNIA 94541
APN: 431-4-91

JOB#: 01A
DATE: 12/02/01
DWG: MMW
SCALE: 1/4" = 1'-0" if not noted

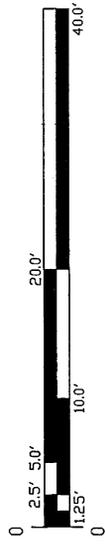
SHEET TITLE:
South Bldg-Phase II
Proposed 2nd Floor/
Open Lofts

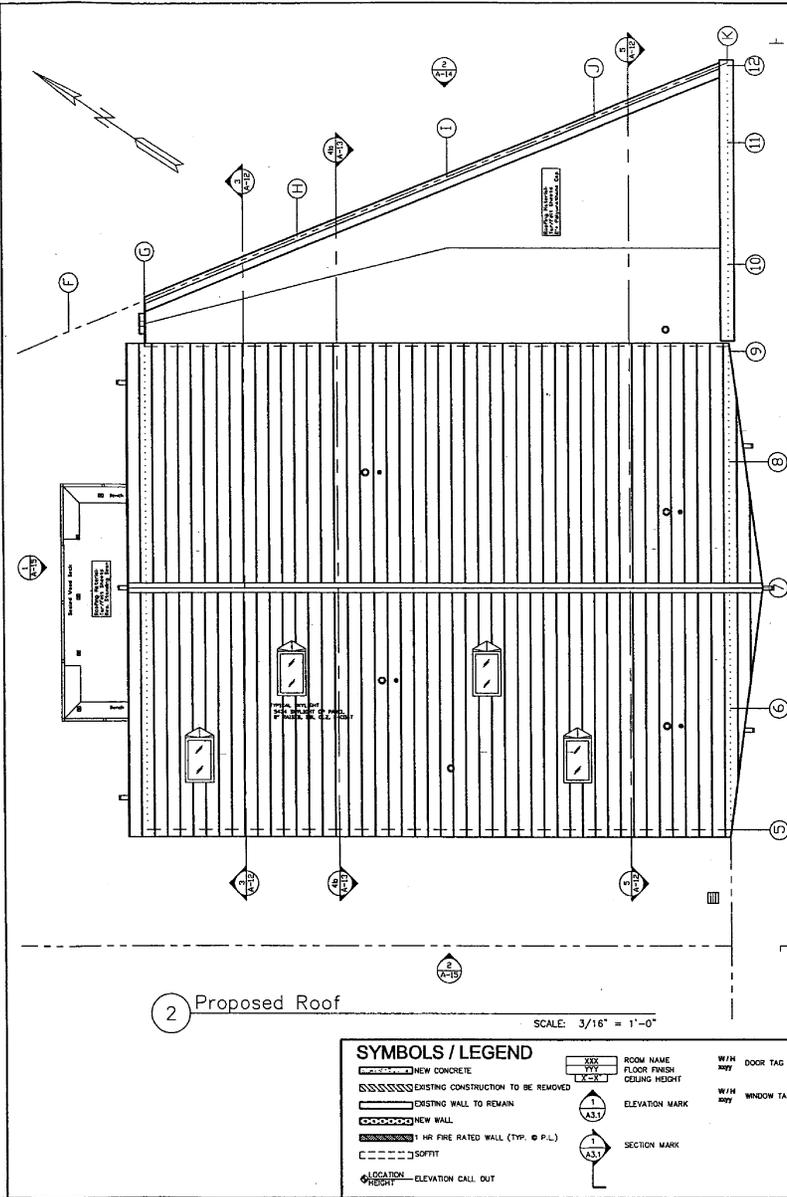
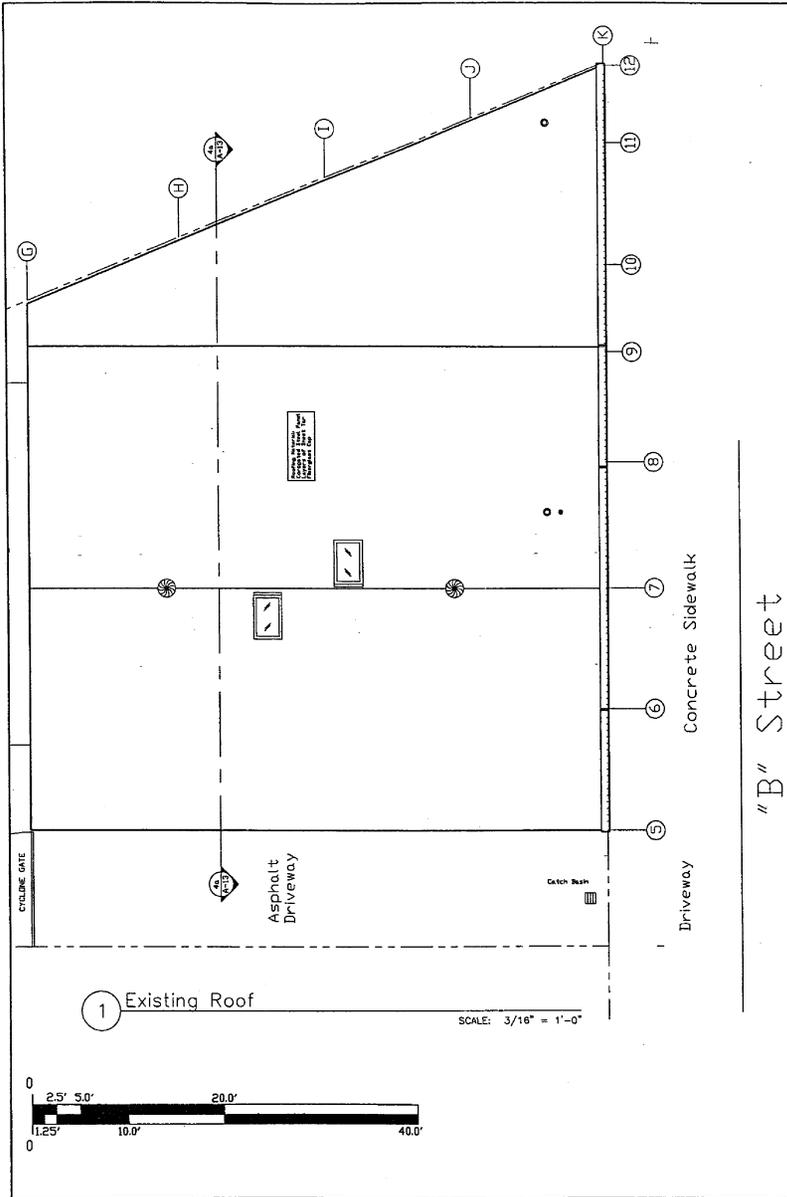
A-10

SYMBOLS / LEGEND

- NEW CONCRETE
- EXISTING CONSTRUCTION TO BE REMOVED
- EXISTING WALL TO REMAIN
- NEW WALL
- 1 HR FIRE RATED WALL (TYP. @ P.L.)
- SOFFIT
- LOCATION - ELEVATION CALL OUT

ROOM NAME	FLOOR FINISH	CEILING HEIGHT	W/H	DOOR TAG
XXX	YYY	ZZZ	XXX	YYY
1	A-11		W/H	WINDOW TAG
1	A-12			





SYMBOLS / LEGEND

	NEW CONCRETE		ROOM NAME FLOOR FINISH CEILING HEIGHT		W/H DOOR TAG
	EXISTING CONSTRUCTION TO BE REMOVED		ELEVATION MARK		W/H WINDOW TAG
	EXISTING WALL TO REMAIN		SECTION MARK		
	NEW WALL		LOCATION ELEVATION CALL OUT		
	1 HR FIRE RATED WALL (TYP. @ P.L.)				
	SOFFIT				

Hayward Lofts LLC
DESIGNS - BUILDINGS

628 B Street
Hayward, CA
94541

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ISSUES AND REVISIONS

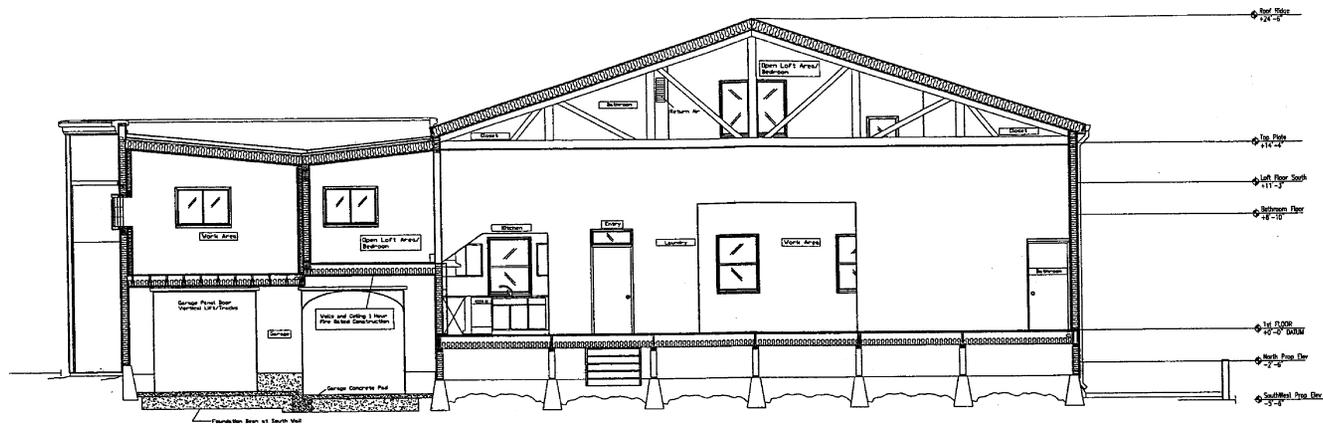
NO.	DATE	BY	REVISION
1	12/20/01	MAW	Conditional Use Permit, A
2	12/20/01	MAW	Conditional Use Permit, X

PROJECT: LIVE - WORK LOFTS, Warehouse Conversion
628 Bth STREET
HAYWARD, CALIFORNIA 94541
APN: 431-4-91

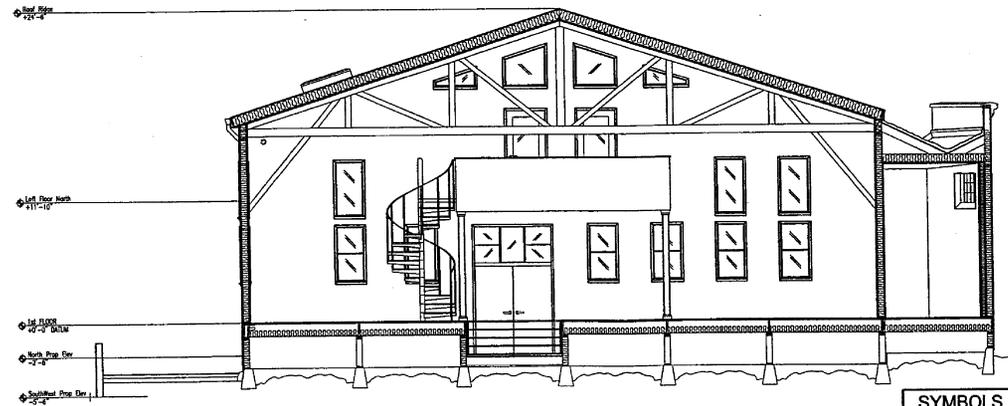
JOB#: 01A
DATE: 12/20/01
DWN: MAW
SCALE: 1/8"=1'-0" if not noted

South Bldg-Phase II
Existing Roof
Proposed Roof

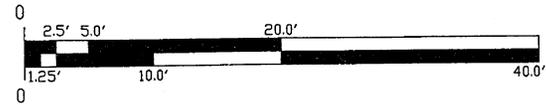
A-11



5 Proposed Section 5
SCALE: 1/4" = 1'-0"



3 Proposed Section 3
SCALE: 1/4" = 1'-0"



SYMBOLS / LEGEND			
	NEW CONCRETE		ROOM NAME FLOOR FINISH CEILING HEIGHT
	EXISTING CONSTRUCTION TO BE REMOVED		ELEVATION MARK
	EXISTING WALL TO REMAIN		DOOR TAG
	NEW WALL		WINDOW TAG
	1 HR FIRE RATED WALL (TYP. @ P.L.)		SECTION MARK
	SOFFIT		ELEVATION CALL OUT
	SOFFIT		

Hayward Lofts LLC
DESIGNS - BUILDINGS

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94541

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ISSUES AND REVISIONS

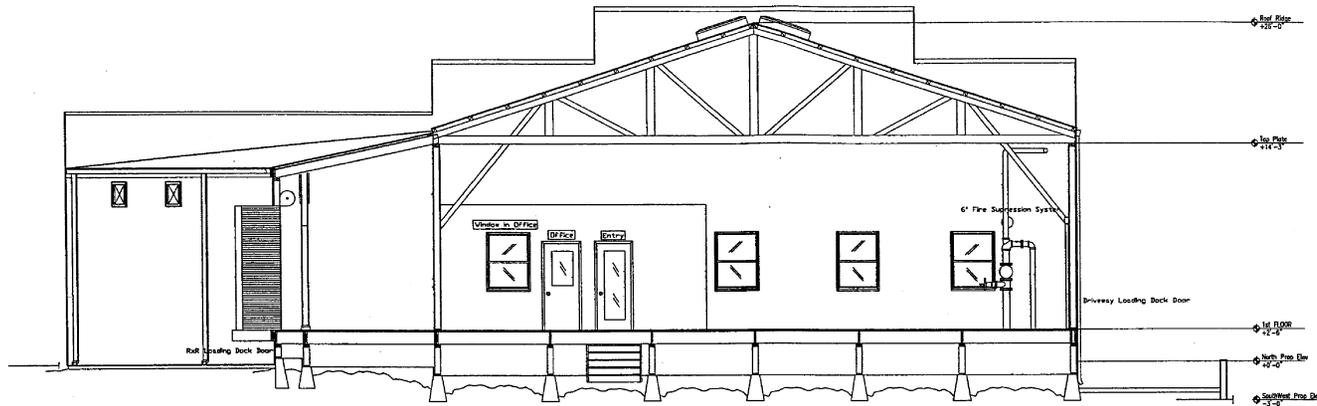
NO.	DATE	BY	REVISION
1			CONDITIONAL USE PERMITS
2			CONDITIONAL USE PERMITS

PROJECT:
LIVE - WORK LOFTS,
Warehouse Conversion
628 Bth STREET
HAYWARD, CALIFORNIA 94541
APN: 431-4-91

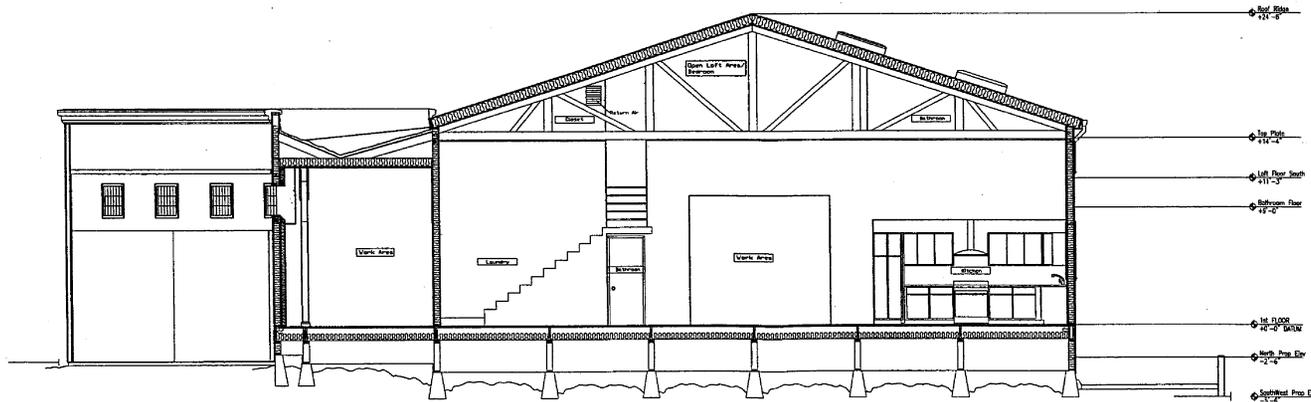
JOB#: 01A
DATE: 12/02/01
DRAWN: MAW
SCALE: 1/4"=1'-0" if not noted

South Bldg-Phase II
Section 5 Proposed
Section 3 Proposed

A-12



4a Section 4a - Existing SCALE: 1/4" = 1'-0"



4b Section 4b - Proposed SCALE: 1/4" = 1'-0"

SYMBOLS / LEGEND		ROOM NAME	W/W	DOOR TAG
	NEW CONCRETE	XXX	XXX	XXX
	EXISTING CONSTRUCTION TO BE REMOVED	FFF	FFF	FFF
	EXISTING WALL TO REMAIN	---	---	---
	NEW WALL	---	---	---
	1 HR FIRE RATED WALL (TYP. @ P.L.)	---	---	---
	SOFFIT	---	---	---
	ELEVATION CALL OUT	---	---	---
	ELEVATION MARK	---	---	---
	SECTION MARK	---	---	---

Hayward Lofts LLC
DESIGNS - BUILDINGS

628 B Street
Hayward, CA
94541

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ISSUES AND REVISIONS

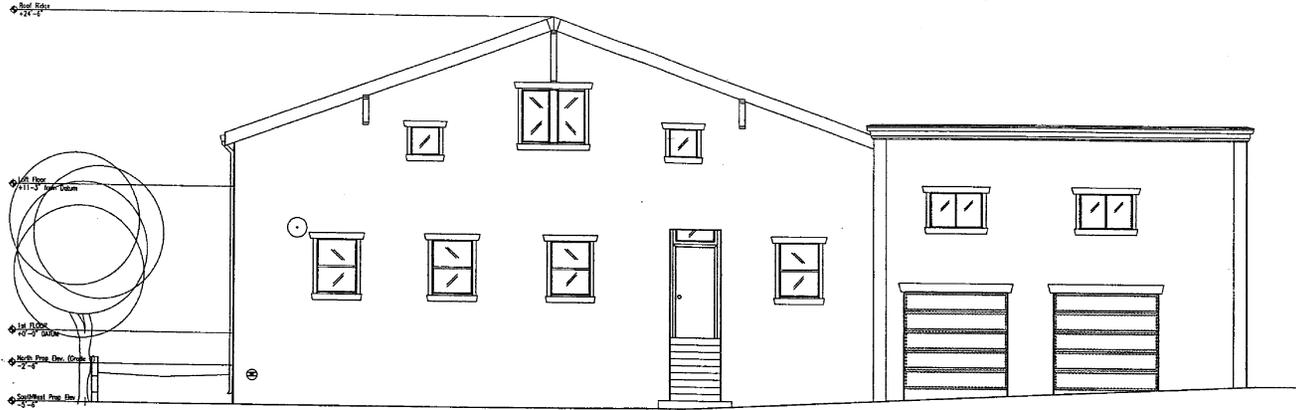
NO.	DATE	DESCRIPTION	BY
1	12/02/01	Coordinate the Permit	MMW
2	02/02/02	Coordinate the Permit	MMW

PROJECT
LIVE - WORK LOFTS,
Warehouse Conversion
628 "B" STREET
HAYWARD, CALIFORNIA 94541
APN: 431-4-91

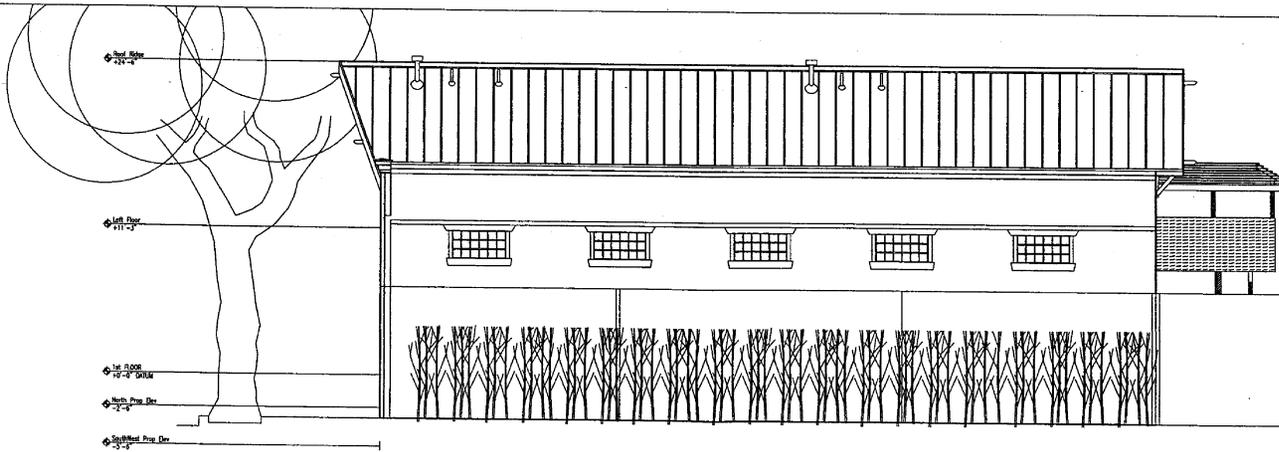
JOB#: 01A
DATE: 12/02/01
DWN: MMW
SCALE: 1/4"=1'-0" If not noted

SHEET TITLE
South Bldg-Phase II
Section 4a Existing
Section 4b Proposed

A-13



1 Proposed South Elevation - South Bldg
SCALE: 1/4" = 1'-0"



2 Proposed East Elevation - South Bldg
SCALE: 1/4" = 1'-0"



SYMBOLS / LEGEND

	NEW CONCRETE		ROOM NAME		DOOR TAG
	EXISTING CONSTRUCTION TO BE REMOVED		FLOOR FINISH		WINDOW TAG
	EXISTING WALL TO REMAIN		CEILING HEIGHT		
	NEW WALL		ELEVATION MARK		
	1 HR FIRE RATED WALL (TYP. ● P.L.)		SECTION MARK		
	SOFFIT				
	LOCATION				
	ELEVATION CALL OUT				

Hayward Lofts LLC
DESIGNS - BUILDINGS

628 B Street
Hayward, CA
94541
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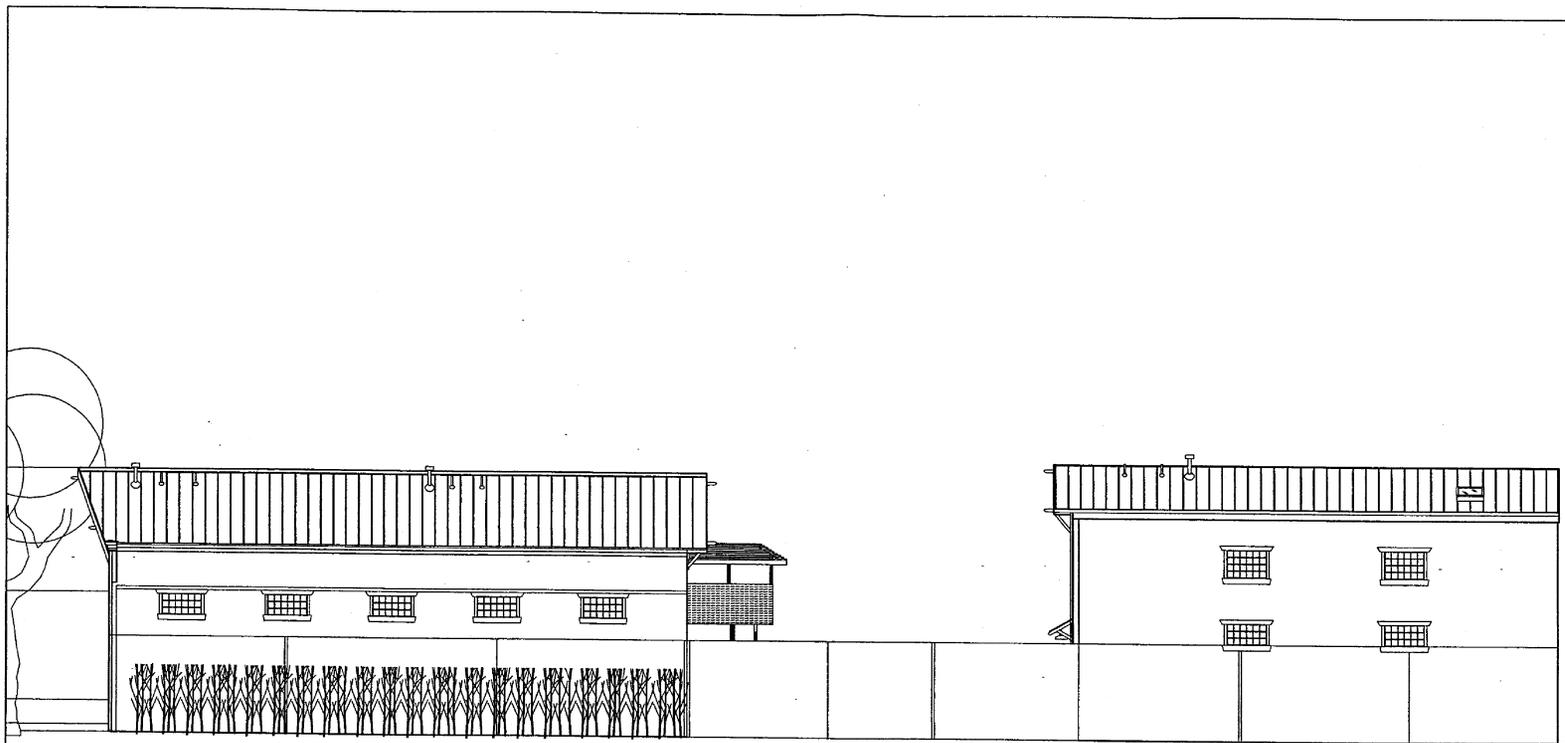
NO.	DATE	BY	DESCRIPTION
1	01/20/01	MAW	Conditional Use Permit
2	02/02/01	MAW	Conditional Use Permit

PROJECT:
LIVE - WORK LOFTS,
Warehouse Conversion
628 "B" STREET
HAYWARD, CALIFORNIA 94541
APN: 431-4-91

JOB: 01A
DATE: 12/20/01
DWN: MAW
SCALE: 1/4"=1'-0" if not noted

SHEET TITLE:
South Bldg Phase II
Proposed South Elev.
Proposed East Elev.

A-14



1 Total Proposed East Elevation

SCALE: 3/16" = 1'-0"



SYMBOLS / LEGEND			
	NEW CONCRETE		ROOM NAME
	EXISTING CONSTRUCTION TO BE REMOVED		FLOOR FINISH
	EXISTING WALL TO REMAIN		CEILING HEIGHT
	NEW WALL		ELEVATION MARK
	1 HR FIRE RATED WALL (TYP. @ P.L.)		SECTION MARK
	SOFFIT		
	LOCATION HEIGHT		
	ELEVATION CALL OUT		
	DOOR TAG		WINDOW TAG

Hayward Lofts LLC
DESIGNS - BUILDINGS

628 B Street
Hayward, CA
94541

TEL: 510-278-6662
FAX: 510-278-6662

ISSUES AND REVISIONS

NO.	DATE	BY	DESCRIPTION
1	02/01/12	MAW	Conditional Use Permit
2	02/02/12	MAW	Conditional Use Permit, X

PROJECT:
LIVE - WORK LOFTS,
Warehouse Conversion
628 "B" STREET
HAYWARD, CALIFORNIA 94541
APN: 431-4-91

JOB: 01A
DATE: 12/02/01
DWN: MAW
SCALE: 1/4"=1'-0" if not noted

SHEET TITLE:
South & North Bldgs
Proposed Total
East Elevation

A-16