



# CITY OF HAYWARD AGENDA REPORT

AGENDA DATE 1/27/98

AGENDA ITEM 7A.

WORK SESSION ITEM \_\_\_\_\_

**TO:** Mayor and City Council  
**FROM:** City Clerk  
**SUBJECT:** Implementing Documents Related to Blue Rock Country Club

An Ordinance Authorizing Execution of a Development Agreement with Hayward 1900, Inc. for development of the Blue Rock Country Club Project.

An Ordinance Amending Section 10-1.157 of Chapter 10, Article 1 of the Hayward Municipal Code to Rezone Certain Territory Located in the Walpert Ridge Planning Area from an Agricultural District to a Planned Development District Pursuant to Zone Change Application No. 97-120-02 and Related Applications Submitted by Hayward 1900, Inc. for the Blue Rock Country Club Project

### Recommendation:

Adopt the attached ordinances relating to the Blue Rock Country Club project.

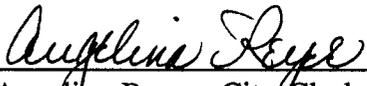
### Background:

The ordinances were introduced by Council Member Ward at a meeting of the Hayward City Council on January 13, 1998, by the following vote:

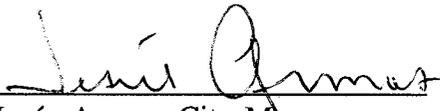
AYES:	Council Members:	Jimenez, Rodriquez, Ward, Hulteen, Henson
	Mayor:	Cooper
NOES:	Council Members:	Hilson

Both introduced ordinances were published in the Hayward Daily Review on January 24, 1998, pursuant to the City Charter. Adoption at this time is therefore appropriate.

**Recommended by:**

  
\_\_\_\_\_  
Angelina Reyes, City Clerk

**Approved by:**

  
\_\_\_\_\_  
Jesús Armas, City Manager

JM 1-22-98  
4:30 PM

ORDINANCE NO. \_\_\_\_\_

AN ORDINANCE AUTHORIZING EXECUTION OF A  
DEVELOPMENT AGREEMENT WITH HAYWARD 1900,  
INC. FOR DEVELOPMENT OF THE BLUE ROCK  
COUNTRY CLUB PROJECT

THE CITY COUNCIL OF THE CITY OF HAYWARD DOES ORDAIN AS  
FOLLOWS:

Section 1. Findings. This Ordinance authorizes the execution of a development agreement with Hayward 1900, Inc. for the Blue Rock Country Club Project "Blue Rock Project Development Agreement"), to be developed on an approximately 1,635-acre site located in the Walpert Ridge Planning Area. This Ordinance is complemented by the simultaneous adoption of Ordinance No. 98-\_\_\_\_\_, which reclassifies such site from an Agricultural ("A") District to a Planned Development ("PD") District pursuant to zone change application no. ZC 97-120-02. The findings and determinations contained in the following resolutions are incorporated by this reference: Resolution No. 98-004, which resolution certifies the Final Supplemental Environmental Impact Report and adopts a Statement of Overriding Considerations pursuant to the California Environmental Quality Act; Resolution No. 98-005, which adopts a Mitigation Monitoring Plan; and Resolution No. 98-006, which approves *General Plan* amendment (GP 97-110-04), *Walpert Ridge Specific Plan* amendments (SP 97-210-01), and the preliminary development plan submitted in conjunction with the application for ZC 97-120-02. Also incorporated by this reference is Resolution No. 98-\_\_\_\_\_, which confirms the amended Walpert Ridge Specific Plan, as well as the revised Preliminary Development Plan and Conditions of Approval for the Blue Rock Project. The following additional findings also support the adoption of this ordinance authorizing the execution of a Development Agreement with Hayward 1900, Inc.

- A. This ordinance is adopted pursuant to the enabling provisions of Article 9, Chapter 10 of the Hayward Municipal Code, the City's Development Agreement Ordinance; and the provisions of State law which authorize the City to enter into binding development agreements with persons having legal or equitable interests in real property for the development of their property contained in Government Code sections 65864 through 65869.5.

- B. The proposed Blue Rock Project Development Agreement is consistent with the objectives, policies, general land uses and programs specified in the General Plan and the Walpert Ridge Specific Plan, as amended by Resolution No. 98-006.
- C. The residential uses contemplated by the proposed Blue Rock Project Development Agreement are compatible with the General Plan land use designations applicable to that portion of the Project site, whose designation has been changed from "Residential-Suburban Density" to "Residential-Low Density Suburban Density" and the "Planned Development" zoning approved for the site.
- D. The proposed Blue Rock Project Development Agreement is in conformity with public convenience, general welfare and good land use practice in that it will enable the development of additional housing, dedication of approximately 1,000 acres of the Project site to the East Bay Regional Park District or other appropriate caretaker agency to maintain such property as permanent open space and other public benefits.
- E. Existing or proposed public facilities have sufficient capacity to accommodate the proposed development.
- F. The public health, safety, and general welfare will be promoted and advanced by the proposed residential development and dedications contemplated by the Blue Rock Project Development Agreement.
- G. The orderly development of the Blue Rock Project property as well as preservation and enhancement of property values will be promoted and advanced by the conditions of approval pertaining to the "Planned Development" proposal.

Section 2. Authorization of Blue Rock Project Development Agreement. Based on the findings set forth in this ordinance and in Resolution Nos. 98-004, 98-005 and 98-006, as well as a review of the proposed Blue Rock Project Development Agreement previously submitted to the City Council at the January 13, 1998, meeting, the City Council hereby takes the following actions:

- A. On and after the effective date of this ordinance,

the City Manager is authorized to execute a Development Agreement with Hayward 1900, Inc. regarding the Blue Rock Project planned development proposal substantially in the form of the proposed development agreement presented to the City Council on January 13, 1998, together with such minor clarifying changes which are approved by the City Manager after consultation with the City Attorney.

- B. The City Manager is also authorized to take such further actions which he or she deems necessary and proper to carry out and or monitor performance of the terms of the executed Blue Rock Project Development Agreement pursuant to applicable law and regulation. This authority includes but is not limited to execution of any further agreement which the City Manager deems necessary to implement the Blue Rock Project Development Agreement ("Implementation Agreement").

Section 3. Effective Date of Ordinance. This ordinance shall become effective concurrently with General Plan Amendment No. 97-110-04, Specific Plan Amendment No. 97-120-01.

Section 4. SEVERANCE. Should any part of this ordinance be declared by a final decision by a court or tribunal of competent jurisdiction to be unconstitutional, invalid, or beyond the authority of the City, such decision shall not affect the validity of the remainder of this ordinance, which shall continue in full force and effect, provided that the remainder of the ordinance, absent the unexcised portion, can be reasonably interpreted to give effect to the intentions of the City Council.

INTRODUCED at a regular meeting of the City Council of the City of Hayward, held the \_\_\_\_\_ day of \_\_\_\_\_, 1998, by Council Member \_\_\_\_\_.

ADOPTED at a regular meeting of the City Council of the City of Hayward held the \_\_\_\_\_ day of \_\_\_\_\_,

1998, by the following votes of members of said City Council.

AYES:

NOES:

ABSTAIN:

ABSENT:

APPROVED: \_\_\_\_\_  
Mayor of the City of Hayward

DATE: \_\_\_\_\_

ATTEST: \_\_\_\_\_  
City Clerk of the City of Hayward

APPROVED AS TO FORM:

\_\_\_\_\_  
City Attorney of the City of Hayward

Dr 1-21-98

ORDINANCE NO. 98-\_\_\_\_\_

AN ORDINANCE AMENDING SECTION 10-1.157 OF CHAPTER 10, ARTICLE 1 OF THE HAYWARD MUNICIPAL CODE TO REZONE CERTAIN TERRITORY LOCATED IN THE WALPERT RIDGE PLANNING AREA FROM AN AGRICULTURAL DISTRICT TO A PLANNED DEVELOPMENT DISTRICT PURSUANT TO ZONE CHANGE APPLICATION NO. 97-120-02 AND RELATED APPLICATIONS SUBMITTED BY HAYWARD 1900, INC. FOR THE BLUE ROCK COUNTRY CLUB PROJECT

THE CITY COUNCIL OF THE CITY OF HAYWARD DOES ORDAIN AS FOLLOWS:

Section 1. Findings.

A. Purpose: This ordinance approves Zone Change Application 97-120-02, filed by Hayward 1900, Inc. ("Hayward 1900") to reclassify an approximately 1,635-acre site located in the Walpert Ridge planning area from an Agricultural ("A") district to a Planned Development ("PD") District, which zone change application was submitted with applications to amend the General Plan (GP 97-110-04), to amend the Walpert Ridge Specific Plan SPA 97-210-01) and to authorize the execution of a Development Agreement regarding development of the Blue Rock Country Club Planned Development Project ("Blue Rock Project").

B. Site Ownership: Approximately 1,558 acres of the Blue Rock Project site is owned by Hayward 1900, and Hayward 1900 has a contractual right to acquire an adjacent 57 acres owned by the Roman Catholic Bishop of Oakland and proposes to acquire approximately 20 acres of adjacent property currently owned by the East Bay Regional Park District ("EBRPD").

C. Related Resolutions: Incorporated by this reference are the findings and other actions approved by the adoption of companion Resolution Nos. 98-004, 98-005 and 98-006. These resolutions are, respectively, a resolution certifying the Final Supplemental Environmental Impact Report as to the Blue Rock Country Club Project and adopting a statement of overriding considerations pursuant to the California Environmental Quality Act ("CEQA"); a resolution adopting the mitigation monitoring plan for the Blue Rock Country Club Project, and a resolution approving General Plan Amendment ("GPA") 97-110-04, Specific Plan Amendment ("SPA") 97-120-01, and the Preliminary Development Plan for the Blue Rock Country Club Project, submitted as a part of Zone Change Application 97-120-02.

D. Ordinance Authorizing Development Agreement: Also incorporated by reference is companion Ordinance No. 98-\_\_\_\_\_, which authorizes execution of a Development Agreement with Hayward 1900, adopted on January \_\_\_, 1998.

Section 2. Approval of Zone Change. Section 10-1.157 of Chapter 10, Article 1 of the Hayward Municipal Code is hereby amended by reclassifying and rezoning from "Agriculture" to "Planned Development" the approximately 1, 635-acre Blue Rock Country Club Project site generally described in this Ordinance, which site is more particularly described in the list of affected parcels or portions thereof, located in the City's Planning Department, which is incorporated by this reference.

Section 3. Effective Date. This ordinance shall take effect concurrently with the General Plan and Walpert Ridge Specific Plan amendments approved by Resolution Nos. 98-004, 98-005 and 98-006, as to all portions of the site except the 20-acre portion currently owned by the EBRPD. As to such 20-acres owned by EBRPD, this ordinance shall take effect on the later of the following events: the effective date of the General Plan and Walpert Ridge Specific Plan amendments previously referred to or Hayward 1900's acquisition of such property.

Section 4. Severance. Should any part of this ordinance be declared by a final decision by a court or tribunal of competent jurisdiction to be unconstitutional, invalid, or beyond the authority of the City, such decision shall not affect the validity of the remainder of this ordinance, which shall continue in full force and effect, provided that the remainder of the ordinance, absent the unexcised portion, can be reasonably interpreted to give effect to the intentions of the City Council.

INTRODUCED at a regular meeting of the City Council of the City of Hayward, held the \_\_\_\_\_ day of \_\_\_\_\_, 1998, by Council Member \_\_\_\_\_.

ADOPTED at a regular meeting of the City Council of the City of Hayward held the \_\_\_\_\_ day of \_\_\_\_\_, 1998, by

the following votes of members of said City Council.

AYES:

NOES:

ABSTAIN:

ABSENT:

APPROVED: \_\_\_\_\_  
Mayor of the City of Hayward

DATE: \_\_\_\_\_

ATTEST: \_\_\_\_\_  
City Clerk of the City of Hayward

APPROVED AS TO FORM:

\_\_\_\_\_  
City Attorney of the City of Hayward



**CITY OF HAYWARD  
AGENDA REPORT**

**AGENDA DATE** January 27, 1998  
**AGENDA ITEM** 7b  
**WORK SESSION ITEM** \_\_\_\_\_

**TO:** Mayor and City Council

**FROM:** Director of Community and Economic Development

**SUBJECT:** Consideration of Implementing Documents Relating to the Approval Action of the Blue Rock Country Club Development - Walpert Ridge Specific Plan Amendments and Preliminary Plan

**RECOMMENDATION:**

Reaffirm approval.

**DISCUSSION:**

On January 13, 1998, the City Council approved the Blue Rock Country Club development proposal, including the environmental documents relating to the project. In their approval action, City Council required that the project reflect the following changes.

- Redistribution of the housing planned for "Neighborhood G" (which is a knoll on the eastern portion of the project site) throughout the other designated residential neighborhoods.
- Limiting vertical cuts on the southerly nine holes of the golf course to no more than 20 feet.
- Relocation of the tennis-swim center to reduce grading and to preserve some of the native trees and shrubs.
- Requiring that grading on the driving range be minimized.
- Requiring that grading be kept a minimum of 75 feet from "Three Oaks Knoll," with the understanding that a minimum distance of 100 feet is desirable.
- Requiring that the project will be upscale.
- Requiring the applicant/developer and staff to continue to explore relocation of the golf course maintenance building away from the Bay Ridge Trail and a ridgeline.
- Requiring realignment of the Bay Ridge Trail.

**Mayor and City Council**  
**Meeting of January 27, 1998**

- With regard to the time permitted for the golf course to be non-operational, an exception to the time will be allowed if the golf course becomes non-operational due to lack of City water during a drought.
- Requiring that any non-recreational or non-open space use within "Neighborhood G" and/or the front nine golf course holes necessitates a vote by the public.

The Preliminary Plan (Exhibit D) reflects the conceptual development plan. This plan will be amplified at the Precise Plan stage of the review process to further refine and reflect the changes required by City Council at the January 13, 1998, City Council meeting and all conditions of approval.

City Council's action approving the project included conceptual approval of the Walpert Ridge Specific Plan. The Walpert Ridge Specific Plan, as amended, is attached (Exhibit A). Amendments are indicated by underscoring or strike throughs. The amendments reflected in the document include those approved as part of the Bailey Ranch development (approved on November 18, 1997) and the Blue Rock Country Club development. The Bailey Ranch amendments relate to an increase in unit allocation, allowing padded lots, allowing a passive instead of active park and allowing an emergency vehicle access instead of public connection through the Blue Rock Country Club development. The Blue Rock Country Club amendments include, among others indicated in the Plan, an increase in unit allocation; padded lots; provisions for smaller lots; a private, gated community; a golf course; an up-front elementary school.

In addition to refinements to the Preliminary Plan and the amendments to the Walpert Ridge Specific Plan, the City Council's approval actions have been incorporated into the conditions of approval. A copy of the amended conditions of approval are attached (Exhibit B) and become part of the Development Agreement.

Attached is the draft resolution (Exhibit C) confirming amendments to the Walpert Ridge Specific Plan, the revised preliminary development plan, and amendments to the conditions of approval.

**Prepared by:**

  
\_\_\_\_\_  
Dyana Anderly, AICP  
Development Review Services Administrator

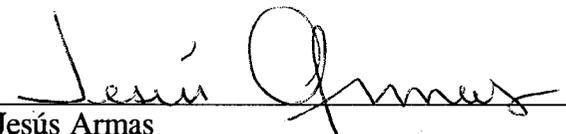
**Mayor and City Council**  
**Meeting of January 27, 1998**

**Recommended by:**



Sylvia Ehrental  
Director of Community and Economic Development

**Approved by:**



Jesús Armas  
City Manager

**Exhibits:**

- A- Walpert Ridge Specific Plan
- B- Amended Conditions of Approval
- C- Draft Resolution
- D- Preliminary Plan

**CONDITIONS OF APPROVAL**

*General Plan Amendment No. 97-110-04*

*Specific Plan Amendment No. 97-210-01*

*Zone Change No. 97-120-02*

**As Approved by the City Council January 13, 1998**

1. Zone Change Application No. 97-120-01 was approved by the Hayward City Council, as conceptually depicted on the Preliminary Plan, subject to the specific conditions listed below. This Zone Change for a Planned Development District becomes void two years following the date of approval by the City Council, unless before that time a Precise Plan is submitted or an extension is approved. A one-year extension shall be granted by the Director of Community and Economic Development/Planning Director if in the opinion of the Director the applicant/developer has made significant progress but has not yet completed necessary approvals/agreements with the responsible and permitting outside agencies. A request for a second one-year extension, approval of which is not guaranteed, may be submitted to the Development Review Services Division at least 30 days before the expiration date for consideration by the City Council.
2. An administrative use permit is required for parking associated with large events at the Blue Rock Country Club development where the anticipated parking demand exceeds the number of parking stalls available within project parking lots.

**PRIOR TO THE APPROVAL OF THE PRECISE PLAN**

The Precise Plan shall be in substantial conformance with the approved Preliminary Plan and shall be submitted in conjunction with a tentative map.

3. The Precise Plan for the entire project shall be submitted to the Planning Commission and City Council for review and approval. The Precise Plan shall include drawings exhibiting the following information:
  - a. All mitigation measures indicated in the approved *Mitigation Monitoring Program for Blue Rock Country Club* that affect the physical design of the development shall have been incorporated in the Precise Plan, including but not limited to redesign or relocation of the tennis and swim clubs to save the greatest number possible of mature trees, including coast live oaks, valley oaks, California bays, and big leaf maple trees, and avoidance of all ponds and drainages (or replacement of affected habitat in accordance with United States Fish and Wildlife Service requirements). This may include the reduction in the number of tennis courts or overall size of the swim/tennis center.

Conditions of approval for Zone Change No. 97-120-02

- b. Evidence shall be provided that the developer has or will own approximately 20 acres of East Bay Regional Park property and approximately 57 acres of Roman Catholic Bishop property that is part of the development site.
- c. Residential Lots
- 1) With the submittal of the Precise Plan, the project developer shall demonstrate to the satisfaction of the City Engineer and Fire Chief that no more than 650 residential dwelling units are located within 1.6 miles from Fire Station No. 5 along the proposed roadways.
  - 2) ~~With the exception of Village G,~~ All villages shall contain a variety of parcel sizes, and all lots shall meet City standards relative to lot dimensions.
  - 3) Lots in Village F shall contain an area equal to or greater than 6,000 square feet.
  - 4) ~~Lots in Village G shall contain an area equal to or greater than 4,000 square feet.~~ No residential units shall be located in Neighborhood G.
  - 5) Lots along the western perimeter of Villages D, E and F shall be equal to or greater than 10,000 square feet
  - 6) Lots along the western perimeter of Village A shall be equal to or greater than 8,000 square feet.
  - 7) Overall the lot sizes shall be distributed as follows, except that a greater distribution of larger lots would be acceptable:
    - a) 11%-4,000 to 4,999 square feet;
    - b) 20%-5,000 to 5,999 square feet
    - c) 40%-6,000 to 7,999 square feet;
    - d) 13%-8,000 to 9,999 square feet;
    - e) 10%-10,000 to 11,999 square feet;
    - f) 6%-12,000 or greater square feet.
  - 8) The exterior boundaries of the residential neighborhood shall be substantially within the boundaries established on the Preliminary Plan.

Conditions of approval for Zone Change No. 97-120-02

- 9) Building envelopes for each lot shall show front, rear and side yard dimensions. Setbacks between buildings and open space shall be determined by the City in consultation with the agency receiving dedication of the open space.

d. School/Park Site

The Precise Plan shall reflect that the school/park site has been redesigned so that the school site is adjacent to Hayward Boulevard and the park area is to the south end of the area designated for a school/park site.

Before submittal of the Precise Plan application, the applicant/developer shall enter into a mitigation agreement with the Hayward Unified School District (HUSD) to dedicate a minimum of 6.5 acres and to design and construct an elementary school with core facilities for 650 students and classrooms for 350 students. The agreement shall provide for initiation of construction of the school before issuance of the 25<sup>th</sup> building permit and completion of the school within 12-months of the issuance of the 25<sup>th</sup> building permit. During this 12-month period, certificates of occupancy may be issued provided HUSD indicates states that students residing in the affected dwelling units can be reasonably and adequately accommodated in an existing school. Subsequent to the 12-month period, certificates of occupancy shall be issued upon completion of the school.

The applicant/developer shall execute an agreement with the City of Hayward to dedicate to the City 5 acres of parkland adjacent to the school site in an adequate configuration that is acceptable to the City in consultation with HARD, to grade the property and to identify specific improvement needs and responsibilities.

e. Neighborhood Parks

The size of the neighborhood parks shall be at least as large as the neighborhood parks depicted on the Preliminary Plan dated December 10, 1997, except reductions up to 30% per neighborhood will be allowed as long as each remaining neighborhood park is on a single parcel. Any reduction in total acreage will be relocated to the former Neighborhood G location. The former Neighborhood G location will include a park with a minimum of two acres. This two-acre park may be reduced to one acre, if an additional one-acre park is created elsewhere on the site.

f. Golf Course

A plan for the entire golf course facility, which shall include detailed golf course layout, conceptual landscaping which shall consist of drought tolerant landscaping, maintenance building, snack bar plans, elevations, color and material samples, parking, details of decorative pavement, benches, lighting, signs,

Conditions of approval for Zone Change No. 97-120-02

fencing, railings, walls and any other information that may be required in order to adequately evaluate the golf course. **There shall be no vertical cuts in excess of 20-foot vertical within the southerly nine holes (the back nine) of the golf course.**

The driving range shall not be lighted, **and driving range grading shall be minimized.** The golf clubhouse and maintenance building should avoid large visible wall surfaces, be articulated to step back building heights along the southeast elevation, use plantings to break up long horizontal lines along the southwest façade and emphasize natural-appearing materials. **The applicant/developer shall continue to work with City staff on a suitable location for the maintenance building and Lake A.**

The golf course shall be designed to minimize the amount of high maintenance turf grasses where possible. Turf grasses shall be used that require less fertilization such as fescues and ryegrass for larger areas of turf grass. Leave areas between golf holes in naturalized grasses to catch and obstruct runoff. Where this is not possible, such as where there are long continuous slopes, grade areas between golf holes to minimize high velocity flows.

To the extent possible working with USFWS and CDFG, golf course fairways shall not be located within the watershed of ponds or drainages to be preserved. Orchard trees shall not be planted on the golf course; rather, the areas where orchard trees are currently proposed shall be left as natural non-native annual grassland habitat for the whipsnake.

g. Tennis and Swim Club

The tennis and swim club shall be ~~redesigned or~~ **relocated as reflected on the revised preliminary plan and as noted above in condition of approval number 3.a.** A small commercial area shall be included within a the swim/tennis club, which sells items for recreational refreshment and items that are frequently purchased by homeowners (e.g., milk, bread).

h. Responsible and Permitting Agencies

Included with the Precise Plan shall be evidence that the applicant/developer has initiated coordination and received an indication of approval in concept from the responsible and permitting agencies, including the Environmental Protection Agency; the U.S. Army Corps of Engineers for impacted wetlands; the State Department of Fish and Game, the federal Fish and Wildlife Service; the Regional Water Quality Control Board; and the Bay Area Air Quality Management District to assure that the project design evaluated in the SEIR is feasible in light of potential agency requirements. The Precise Plan shall reflect any physical changes to the development required of the permitting agencies.

i. Alameda Whipsnake Mitigation Plan

Conditions of approval for Zone Change No. 97-120-02

The applicant/developer shall provide a water supply report for the Carden property for the review and approval of the City Engineer that 1)determines that the proposed development will not have a negative affect on the existing water supply for the Carden property, or 2)provides that the contractor for the proposed development construct a new well in a suitable location that can maintain that current water supply, or 3)provides that the contractor install a point of connection from the proposed development's water supply to Carden property in a suitable location. **The report shall propose how the applicant/developer will supply potable water to the Carden property during all phases of grading, construction and thereafter, if the current water source becomes inadequate.**

f. Tentative grading plan

- Shall reflect that grading will be confined within the parameters established in the Preliminary Plan.
- Shall reflect that padded lots are permitted.
- Shall refine the project layout and grading plan indicated on the Preliminary Plan for the southwestern portions of the development area visible from Garin Regional Park (includes the areas leading up to residential Clusters E and F, as well as golf course holes 6-9 and 18, and the golf clubhouse area) to achieve the following: 1) **grading cuts for the south 9 holes shall be less than 20 vertical feet;** 2) **grading in the ball landing area of the driving practice range shall be minimized;** and 3) **grading shall be at least 75-feet and preferably 100-feet away from the top of Three Oak Knoll.**
- Shall show that, as a result of the grading, a natural-appearing, undulating finished topography will be created. To the extent possible, grading shall be accomplished in accordance with the Walpert Ridge Specific Plan recommended "landform grading techniques" for the ridges and slopes in view of the park; and, to the extent possible, the grading plan shall be consistent with the City's Hillside Design Guidelines calling for minimizing grading and for the blending of cut and fill slopes with existing slope characteristics to achieve a more natural topographic appearance.
- Shall reflect that the overall extent of cut and fill has been reduced and the blending of cut and fill slopes with the existing natural slopes shall be improved. The approximate cut and fill amounts shall be stated.
- Shall show a reduction of the depth of grading within the golf course particularly along the main ridge crest and secondary ridges.
- Shall show a reduction in the amount of fill under the swim/tennis center to the greatest extent possible.

Conditions of approval for Zone Change No. 97-120-02

150. Grading and improvement plans shall clearly identify all trees to be removed and preserved. Under the supervision of a certified arborist, the exact location of potentially impacted trees (horizontal and vertical elevations) relative to proposed grades shall be defined on the plans and in the field prior to approval of grading plans. Plans shall be adjusted where possible to save "at risk" trees that are in good or excellent condition, particularly the native oak trees. Oak trees to be removed shall be provided with replacement trees of a size and species approved by the City Landscape Architect at the ratio of 3:1; a Tree Replacement and Monitoring Plan for all trees shall be prepared for review and approval by the City's Landscape Architect and the State Department of Fish and Game.
151. Grading and improvement plans shall specify tree protection measures for all potentially impacted trees per the tree preservation guidelines contained in the Hortscience report (December 1995) **and shall not occur within 75-feet of Three Oak Knoll with a distance of 100-feet required if feasible.** Tree protection measures shall address protective fencing, site grad-ing, foundation and pavement construction, site drainage, and root and canopy pruning.
152. Grading operations shall be restricted to the dry season between April 15 and October 15 to minimize erosion unless otherwise approved by the City Engineer. Soil surfaces exposed as a result of grading shall be stabilized and revegetated before October 15.
153. The project shall be designed to balance cut and fill requirements.
154. To reduce the potential for damage due to the expansive and/or compressive soils, a certified engineering geologist or a registered geotechnical engineer shall be employed to identify the specific measures necessary to protect buildings, driveways, sidewalks, streets, parking areas, and utility networks. These measures could include:
  - Use of specifically designed pier-and-grade beam foundations.
  - Lime treatment of soils.
  - Employment of flexible utility line materials and connectors where lines enter structures.
  - Use of special design for driveways, sidewalk streets, and parking areas.
  - Installation of specifically designed concrete mat foundations.
  - Preconsolidation of compressible soils areas prior to their development.
155. Because liquefaction can occur as a secondary effect of ground shaking, a registered engineering geologist shall be employed to identify areas of potential liquefaction. Specific mitigation measures for existing hazards and design changes shall be incorporated into the subdivision grading and improvement plans.

Conditions of approval for Zone Change No. 97-120-02

effect when utility service permits for each dwelling unit and for each commercial building is issued.

212. All required front and street side yard landscaping shall be installed prior to occupancy of each dwelling unit, unless otherwise approved by the City's Landscape Architect. Landscaping shall be installed within the private rear yards abutting Hayward Boulevard, Fairview Avenue and the entry/ridge road and the western perimeter prior to certificate of occupancy to buffer the view of the dwellings. Trees and shrubs shall have forms that blend with the surrounding native vegetation.
213. Landscaping and irrigation plans shall comply with the City's Water Efficient Landscape Ordinance. A Certificate of Substantial Completion and Irrigation Schedule shall be submitted by the project landscape architect prior to approval of occupancy of any units.
214. The applicant/developer shall pay at the time of or before issuance of each certificate of occupancy, or final inspection if a certificate of occupancy is not required, \$1200 per residential single family unit, \$3.96 per gross square foot of retail/commercial building and \$3.00 per gross square foot of office service building, except the elementary school building. This amount is in lieu of any required Supplemental Building Construction and Improvement tax.
215. An earthquake preparedness and emergency response plan shall be provided for each community facility, including the proposed school, swim/tennis center, maintenance building and golf course clubhouse.
216. During the 12-month period following the issuance of the 25<sup>th</sup> building permit, certificates of occupancy may be issued provided HUSD indicates that students residing in the affected dwelling units can be adequately and reasonably accommodated in an existing school. Subsequent to the 12-month period, certificates of occupancy shall be issued upon completion of the school.

PRIOR TO OPENING THE GOLF COURSE FOR PLAY AND ONGOING REQUIREMENTS:

217. Pursuant to the development agreement, if the operation of the golf course ceases for a continuous period of eighteen months and the owner does not resume operation of the golf course within 30 days after the City's written demand to resume operation, then subject to the right of the homeowners in the development to lease as provided in the Development Agreement, the City shall have the right to lease the golf course and related facilities for \$1.00 per year rental plus operating and maintenance expenses and property taxes. If the City exercises its right to lease the golf course and related facilities, the owner(s) shall provide public access to the course and facilities through the residential community. **If operation of the golf course ceases because there is a lack of water supply from the City due to drought, such period of cessation shall not be counted for purposes of this condition.**

Conditions of approval for Zone Change No. 97-120-02

Corps. Of Engineers, California Department of Fish and Game, or other responsible and permitting agency, the applicant/developer shall replace wetlands and stream channels in accordance with the relevant agencies' requirements and shall include the following requirements:

- a. Replacement of tree and shrub planting as specified under conditions of approval no.s 3.o, 3.p and 144;
  - b. Creation of pool environments through installation of native rock barriers (check dams) that have vertical drops on the downstream edge that are a minimum of 30 inches high;
  - c. The vertical drop below native rock barriers shall be greater than 36 inches in order for water scouring to create pool environments;
  - d. Recreated wetland habitats shall be installed to remain inundated or saturated for sufficient duration to support a prevalence of hydrophytic vegetation, exhibit plant and invertebrate species richness comparable to the impacted wetlands, if created to mitigate impacts to California red-legged frogs-have the ability to remain inundated on a perennial basis.
- 244.** Wetlands and pools shall be monitored annually by the applicant/developer's qualified biologist to document hydrology, plant colonization, and use by wildlife over a minimum of a five-year period, or until mitigation is considered successful. All mitigation and monitoring requirements shall be coordinated with the U.S. Army Corps. Of Engineers, U.S. Fish and Wildlife Service and California Department of Fish and Game. Monitoring reports shall be prepared annually and submitted to these agencies and the City Director of Community and Economic Development/Planning Director.
- 245.** All landscaping in public rights of way and all slope reforestation and revegetation shall be maintained for a minimum of one-year following completion before the landscape performance bonds shall be released by the City Landscape Architect.
246. Where conditions of approval may conflict with one another or other documents relating to the project, the more restrictive shall apply.
- 247.** Any proposed modification of the Planned Development zoning on the front nine-holes of the golf course or within the location of the former Village G to a non-recreation or non-open space use shall be submitted to the voters for approval.

JM 1-22-98  
5 PM

## HAYWARD CITY COUNCIL

RESOLUTION NO. 98-\_\_\_\_\_

Introduced by Council Member \_\_\_\_\_

RESOLUTION CONFIRMING AMENDMENTS TO THE  
WALPERT RIDGE SPECIFIC PLAN, AND THE REVISED  
PRELIMINARY DEVELOPMENT PLAN AND  
AMENDMENTS TO THE CONDITIONS OF APPROVAL  
PREPARED FOR THE BLUE ROCK COUNTRY CLUB  
PROJECT

BE IT RESOLVED by the City Council of the City of Hayward as follows:

WHEREAS, on January 13, 1998, the City Council held a public hearing regarding applications submitted by property owner Hayward 1900, Inc. to develop the Blue Rock Country Club Project ("Blue Rock Project"); and

WHEREAS, on January 13, 1998, the City Council adopted a resolution certifying the Final Supplemental Environmental Impact Report and adopting a Statement of Overriding Conditions for the Blue Rock Project pursuant to Resolution No. 98-004, approved the Mitigation Monitoring Plan pursuant to Resolution No. 98-005, and approved amendments to the General Plan and to the Walpert Ridge Specific Plan, as well as an application for reclassification of the Blue Rock Country Club Project site from an Agricultural ("A") to a Planned Development ("PD") district and a Preliminary Development Plan as revised on January 13, 1998, pursuant to Resolution No. 98-006; and

WHEREAS, the City Council directed staff to return with implementing documents which reflect the changes to the Blue Rock Project required by the City Council's January 13, 1998, motion, and City staff subsequently presented the form of an amended Walpert Ridge Specific Plan, a revised Preliminary Development Plan, and revisions to certain Conditions of Approval to the City Council on January 27, 1998; and

WHEREAS, on January 27, 1998, the City Council adopted Ordinance No. 98-\_\_\_\_\_, authorizing the reclassification of the Blue Rock Project site from an Agricultural ("A") to a Planned Development ("PD") District and Ordinance No. 98-\_\_\_\_\_, authorizing the execution of a Development Agreement for the Blue Rock Project.

**WALPERT RIDGE**  
**SPECIFIC PLAN**

HAYWARD, CALIFORNIA

Prepared by:

City of Hayward  
Department of Community and Economic Development



With the Assistance of:

The SWA Group  
Reimer Associates  
Wildland Resource Management  
VIA



**July 25, 1995**

Adopted by City Council  
Resolution No. 95-153  
Amended by City Council 11/18/97  
Resolution No. 97-180  
Amended by City Council 1/23/98  
Resolution No. \_\_\_\_\_

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# WALPERT RIDGE SPECIFIC PLAN

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## WALPERT RIDGE PECIFIC PLAN

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## **WALPERT RIDGE SPECIFIC PLAN**

### **PURPOSE**

The Walpert Ridge Specific Plan area is the largest undeveloped hillside site in the immediate Hayward area. The site offers expansive scenic views of open space and the surrounding Bay Area. Because of the exceptional site features, a prime opportunity exists to develop upscale single-family housing as well as provide a prime open space and recreational amenity for the community. The Walpert Ridge Specific Plan, hereafter referred to as the "Specific Plan", provides a policy plan for guiding the orderly development of this significant ridgeline area.

This Specific Plan incorporates the development policies contained in the Walpert Ridge Specific Area Plan (SAP), adopted on September 24, 1991. It also contains additional conceptual plans, development standards, and design guidelines that support the SAP policies. Because this Specific Plan consolidates the more recently prepared plans, standards, and guidelines, it supersedes and replaces the SAP.

This Specific Plan is in conformance with the City's General Plan, and by defining more specific policies and standards for the area, provides an important tool for facilitating the review of individual development proposals. The policies contained in this Specific Plan supplement and further define the policies contained in the General Plan and other adopted City plans.

Future development applications will be reviewed for conformance with the policies, standards, and guidelines in this Specific Plan. As stated above, however, this Specific Plan is a policy plan adopted by resolution. Hence, a degree of flexibility will be exercised in applying and interpreting the Plan based on the merits of future development proposals. Furthermore, the City acknowledges that future amendments to the Plan may be warranted to ensure a quality, well-designed residential community and/or to respond to identified economic constraints.

Consistent with State Government Code 65451, which defines the contents of a specific plan, the Walpert Ridge Specific Plan contains and describes the following items:

- The distribution, location, and extent of land uses, including open space, within the area covered by the Plan;
- The public and private transportation and infrastructure improvements that are required to serve the land uses permitted in the Plan;
- Standards and criteria for guiding development and for conserving natural resources;
- Implementation measures and possible financing methods for carrying out the Plan; and
- A statement of the relationship of this Specific Plan to the General Plan.

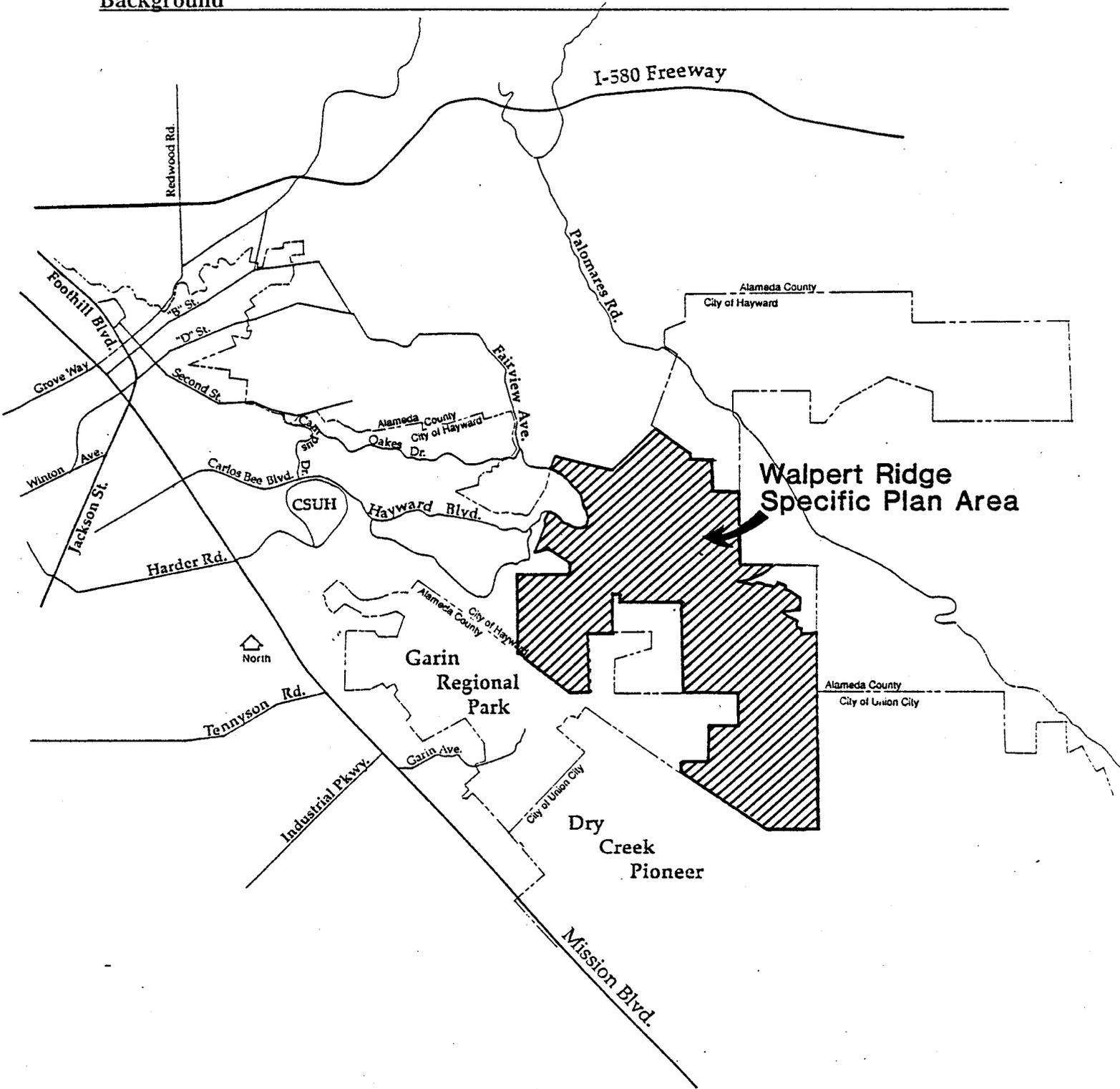
## **ORGANIZATION OF SPECIFIC PLAN**

This Specific Plan first describes the policy context for the document, which includes a discussion of the rationale for preparing the Plan and the General Plan policies that govern the Plan. Next, key site conditions are summarized that have directly influenced the formulation of the policies, plans, and design standards and guidelines contained in this Specific Plan.

The most significant element of this Specific Plan is the Development Policies, which include the Land Use Plan. These policies have been divided into four general categories covering land use, development prerequisites, financing, and implementation. The Development Policies are preceded by a discussion of policy considerations and policy objectives, which are the principles that have guided the preparation of this Specific Plan.

The final section of this Specific Plan is the Design Standards and Guidelines. This section further articulates and implements the Development Policies and the Land Use Plan. Specific criteria are presented for guiding and reviewing future development proposals. The standards and guidelines cover site circulation, neighborhood design, grading, on-site infrastructure, and fire management.

**Walpert Ridge Specific Plan  
Background**



**WALPERT RIDGE  
SPECIFIC PLAN**

*Figure 1*  
Location Map

## SEVERABILITY

If any provision of this Specific Plan or the application thereof to any person or circumstance is held invalid, such invalidity shall not affect any other provision of this Specific Plan or application thereof if the City Council hereby declares that the provisions of this Specific Plan are declared to be severable. In order to determine any provision of this Specific Plan as severable, the City Council shall find and determine that it would have adopted and passed this Specific Plan and each section, subsection, sentence, clause, phrase and word hereof, irrespective of the fact that any one or more of the other sections, subsections, sentences, clauses, phrases or words hereof be declared invalid or unconstitutional.

## SPECIFIC PLAN CONTEXT

### Background

The City of Hayward adopted the Walpert Ridge Specific Area Plan (SAP) on September 24, 1991. A Final Program Environmental Impact Report (Program FEIR) for the SAP was also certified by the City Council at the same time. (A description of the planning history leading up to adoption of the SAP is attached as Appendix A, page 90)

The SAP defined development policies that allowed for potentially 500 to 700 single-family lots within a defined ridgetop area located within one mile of Hayward Boulevard and Fairview Avenue, while requiring the larger remaining area to be preserved as permanent open space. Development policies for the residential community defined lot size criteria, the potential density bonus, and the Urban Limit Line that would govern the location of housing. The SAP further described development prerequisites pertaining to dedication of land for open space, an elementary school, a neighborhood park, and the Bay Area Ridge Trail. Development prerequisites also included a list of required off-site traffic improvements and addressed implementation measures such as the formation of benefit and assessment districts.

In May 1993, the City Council directed the preparation of a Specific Plan (the "1995 Specific Plan") in conformance with the State Government Code 65451. ~~This~~ The 1995 Specific Plan resolves addressed outstanding issues pertaining to residential development on Walpert Ridge, such as: 1) the allocation of housing units among property owners; 2) conformance with the Hillside Design and Urban/Wildland Interface Guidelines; 3) site design, circulation, infrastructure, and fire management standards that are tailored to the development area; and 4) the locations of the park and school sites. ~~Resolution of these issues will allow the City to process individual development proposals with clearly established policy parameters and standards.~~ In summary, the 1995 Specific Plan allowed for 500 to 615 single-family lots within a defined Urban Development Area on Walpert Ridge.

Within the existing policy framework outlined in the SAP, various resource maps, alternative site plans, and three working papers were prepared over a one-year period. These maps, plans and working papers were reviewed by the City Council, Planning Commission, property owners, affected public agencies, and the general public thorough a series of community meetings, joint City Council/Planning Commission work sessions, and public hearings. The

Land Use Plan, conceptual plans, and design standards and guidelines contained in this Specific Plan represent the cumulative results of this planning effort and articulate the City Council's policies for Walpert Ridge as of 1995. In summary, this Specific Plan allows for 500 to 615 single-family lots within a defined Urban Development Area on Walpert Ridge. On July 15, 1996, the City and Hayward 1900, the owner of 1,580 acres on Walpert Ridge, entered into a Memorandum of Understanding ("MOU") in order to implement a public facilitation process to provide community input into conceptualizing a development application for the Hayward 1900 property. Both the City and Hayward 1900 selected representatives of the public to serve on the Ad Hoc Committee. Under the terms of the MOU, the Ad Hoc Committee sought to agree upon a "Proposed Development Alternative" for the Hayward 1900 property. The Ad Hoc Committee considered several proposals and in January 1997 submitted its Report to the City Council which contained recommendations for preferred development elements for the Hayward 1900 property.

In developing the preferred development elements, the Committee was guided by a set of shared goals including: 1) enhancing Hayward's schools; 2) enhancing Hayward's economic base; 3) creating a "destination Hayward" with unique country club amenities; 4) providing fiscal benefits to the City; 5) identifying a financially feasible plan for the owner; 6) managing urban sprawl; 7) maximizing the amount of open space preserved on Walpert Ridge; 8) protecting and preserving natural habitats; 9) preserving the visual aesthetics of the Ridge; 10) creating open space opportunities for all city and regional user groups; 11) providing family-oriented recreational opportunities; 12) providing ample community services/infrastructure including traffic mitigation; and 13) improving the City's overall housing mix by providing upscale housing.

The amendments to the 1995 Specific Plan implement many of the preferred elements recommended by the Ad Hoc Committee for the Blue Rock Country Club Project. In summary, these amendments allow a 650-unit gated residential/golf course community on the Hayward 1900 property, the Catholic Church property, and a limited portion of property currently owned by the East Bay Regional Park located adjacent to the western boundary of the Hayward 1900 property, which will accommodate golf course and other open space uses. (Under the amendments, a total of 805 units would be allowed on all of the Walpert Ridge property). The Blue Rock Country Club project will consist of 1) single-family dwellings with lot sizes varying from 4,000 to over 10,000 square feet; 2) an 18-hole golf course integrated with the residential development including a clubhouse and driving range; 3) a private tennis and swim club; 4) up-front construction of an elementary school with core facilities for 650 students and classrooms for 350 students on an approximately 11.5 acre joint school/neighborhood park site; and 5) preservation of approximately 1000 acres as natural and landscaped open space.

On November 18, 1997, the City Council approved amendments to this Walpert Ridge Specific Plan in connection with a development proposal on the Bailey property to allow a lot allocation of 135 lots for that property where up to 116 lots had been allocated, and to allow all padded lots where padded lots had been very limited.

## Conformance with General Plan

This Specific Plan implements the City of Hayward's General Plan and conforms with General Plan policies. Additionally, this Specific Plan supplements the General Plan by providing more specific policies and design standards and guidelines for the Walpert Ridge area.

Elements of the General Plan that contain policies that are pertinent to Walpert Ridge and have guided the preparation of this Specific Plan consist of the following:

- **General Policies Plan and Map:** (Land Use, Circulation, Open Space and Recreation Elements)

The General Policies Plan encourages retaining important open space, conserving the aesthetic, ecological, and recreational resources in the hills, protecting sensitive plant and wildlife habitats, ensuring adequate roadway capacity, and requiring projects to mitigate off-site traffic impacts. Specific to Walpert Ridge, a strategy states that:

"Design of development on Walpert Ridge and infill hill development shall reflect design sensitive to maintaining a natural hill environment; encourage maximum retention of natural topographic features such as drainage swales, streams, slopes, rock outcroppings and natural plan formations through site plan review."

The General Policies Plan Map designates an Urban Limit Line (see Growth Management Element) on Walpert Ridge that allows residential development to extend approximately one mile southeast of the intersection of Hayward Boulevard and Fairview Avenue. The area within the urban limit line is designated Residential, Suburban Density (1.0 to 4.3 dwelling units per net acre) and Residential, Low Density (4.3 to 8.7 dwelling units per net acre), as more particularly set forth on the General Plan Policies Map. The area beyond the Urban Limit Line is designated Open Space, Parks and Recreation.

- **Growth Management Element:**

The Growth Management Element defines the Urban Limit Line for Hayward. For the Walpert Ridge area, the Urban Limit Line generally corresponds to the boundaries established in the previously adopted Walpert Ridge Specific Area Plan. Policies are included pertaining to development in the general hill area and in the areas beyond the Urban Limit Line.

The Growth Management Element also contains infrastructure standards and quality of life measures for managing growth within the City. Standards and strategies address planning, transportation, water, sewer, urban water runoff, environmental quality, parks and recreation, schools, libraries, and police and fire services. The Walpert Ridge Program FEIR ~~evaluates~~ and the Blue Rock Country Club project Supplemental Environmental Impact Report evaluate the impact of development on all of the above facilities, services, and resources. Mitigation measures from these

environmental documents identify the infrastructure improvements and additional public facilities and services that will be needed to accommodate development on Walpert Ridge. These mitigation measures are incorporated into this Specific Plan in the form of policies, standards, and guidelines, which are consistent with the infrastructure standards and quality of life measures contained in the Growth Management Element.

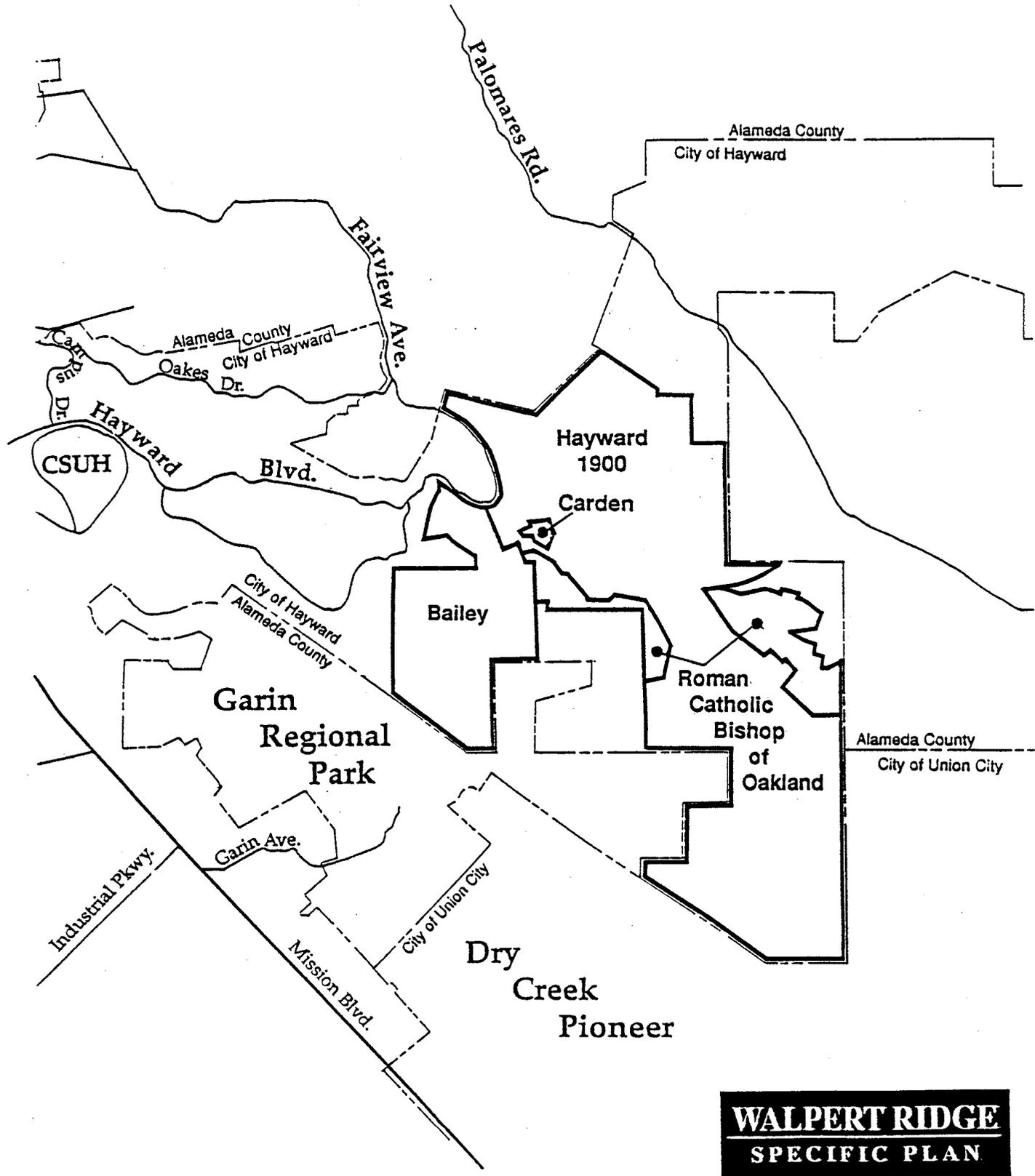
- **Conservation and Environmental Protection Element:**

Policies are defined covering geology, soils, vegetation and wildlife habitats, climate and air quality, and hydrology and water quality.

- **Housing Element:**

In response to a documented need for above-moderate income housing, policies in the Housing Element advocate: ensuring a sufficient supply of housing to maintain a jobs/housing balance based on population and employment forecasts; and encouraging large lot, estate-type housing with appropriate amenities in selected areas.

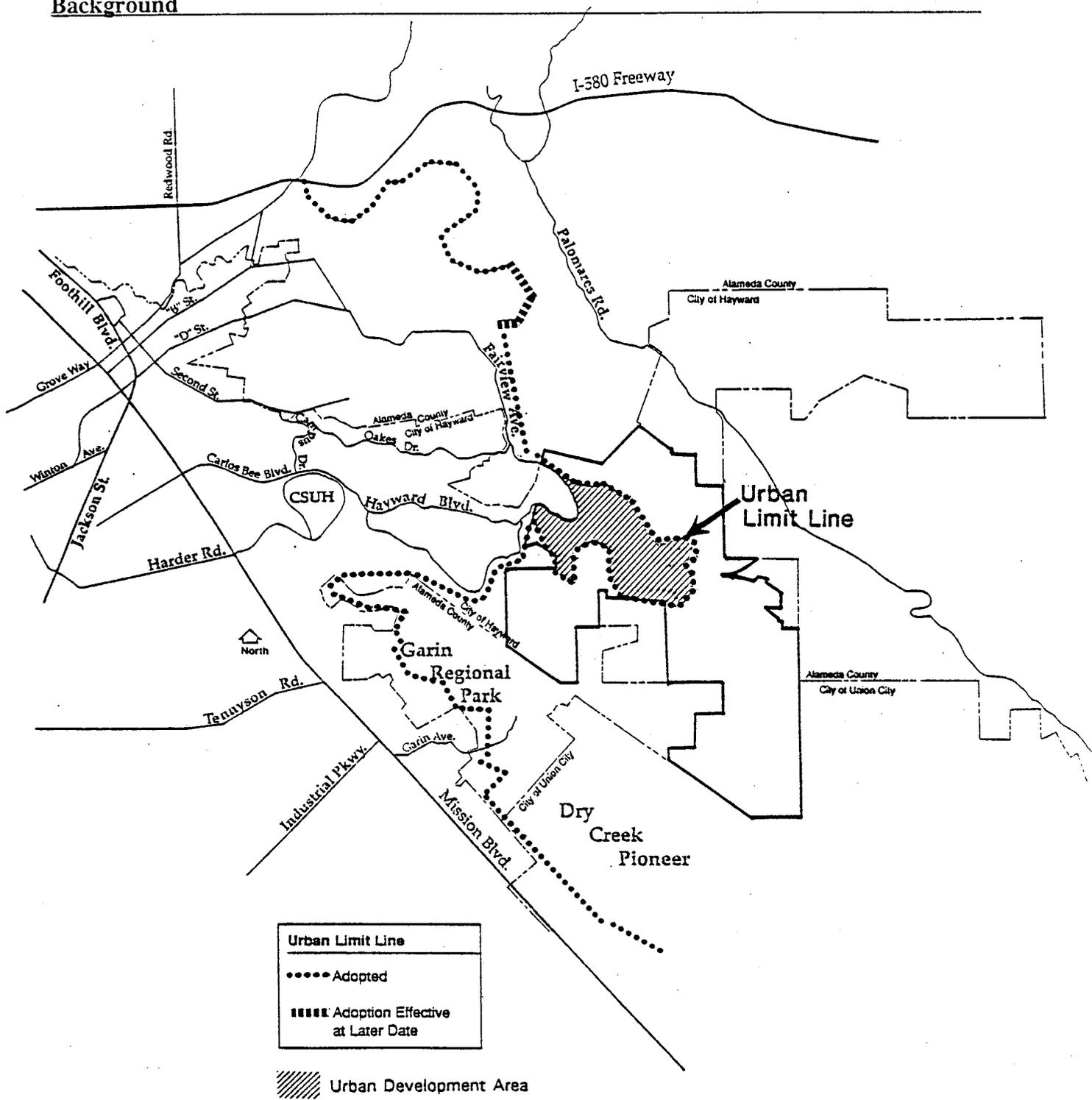
Walpert Ridge Specific Plan  
Background



**WALPERT RIDGE**  
**SPECIFIC PLAN**

Figure 2  
Property Ownership

Walpert Ridge Specific Plan  
Background



**WALPERT RIDGE  
SPECIFIC PLAN**

Figure 3  
Urban Development Area

## LOCATION & SETTING

The Walpert Ridge Specific Plan area is located in the Hayward Hills south of the convergence of Fairview Avenue and Hayward Boulevard (the "Fairview Loop"), east of Garin Regional Park, north of Union City, and west of Palomares Canyon (see Location Map, Figure 1, page 3. It contains approximately 2,160 acres of privately owned ridgeland under four ownerships (see Property Ownership, Figure 2, page 8). **Additionally, approximately 20 acres of land under East Bay Regional Park District ownership is included as part of the Blue Rock Country Club project for golf course and other open space uses.** Within this Specific Plan area, conditions vary significantly. Areas such as the headwaters of Dry Creek, for example, are heavily wooded and provide an important wildlife habitat. These areas constitute an extension of the riparian sanctuary already contained in the adjacent regional park system. The development potential of these areas is limited because of the environmental sensitivity of this resource.

In contrast, the grassy ridgetops that characterize this Specific Plan area have potential for development and are desirable as open space as well. The ridgetops exhibit relatively gradual slopes, can be accessed from Hayward Boulevard, and can be developed without excessive grading. These grassy ridgetops lack the abundance of wildlife and distinctive woodland associations found in the adjacent valleys and ravines. However, in their present condition, these areas are aesthetically pleasing, provide an outstanding recreational opportunity, and offer excellent panoramic views of the Bay Area. By virtue of their elevation, the ridgetops constitute a scenic amenity to be enjoyed from adjacent properties and from more distant locations throughout the Hayward area.

## DESCRIPTION OF URBAN DEVELOPMENT AREA

Development Policy I-A, page 18, defines the Urban Development Area for the Walpert Ridge Specific Plan area. This Specific Plan requires residential development to be contained within the Urban Development Area, which comprises approximately 310 -acres of primarily grassy ridgeland located within one mile from the Fairview Loop (see Figure 3, page 9). Land ownership within the Urban Development Area as well as within the larger Specific Plan area is listed below:

Property Owner (acres)	Development Area (acres)	Percent	Specific Plan Area (acres)	Percent
(acres) (acres)	225	72.5	1580	73.2
Hayward 1900*				
Bailey	60	19.5	391	18.1
Roman Catholic Bishop of Oakland	16	5.0	180	8.3
Bishop of Oakland Carden	9	3.0	9	0.4
TOTAL	310	100.0	2160	100.0

\* This acreage designated for Hayward 1900 does not include 20 acres of the East Bay Regional Park District property to be included in the Blue Rock Country Club project.

Because the policies in this Specific Plan focus on the Urban Development Area, a summary of the significant site conditions within this area is warranted. (Refer to the Program FEIR and the Blue Rock Country Club project Supplemental Environmental Impact Report and the resource maps on file at the City for a more detailed description.) These site conditions have influenced the preparation of the Land Use Plan (Figure 5, page and the accompanying design standards and guidelines and will have implications on the future development of the site.

### Topography

Walpert Ridge is located in the Hamilton-Diablo Mountain Range. The site is comprised of a series of generally northwest/southeast trending ridges, separated by heavily vegetated deep valleys and drainage swales. The upper end of the Dry Creek drainage essentially bisects the Urban Development Area. The Existing Site Conditions Map (Figure 4, page 11) identifies the major ridges and the high points along these ridges. Several visually distinctive knolls are located within or near the Urban Development Area: Bay Trees Knoll, Rocky Knoll, and Three Oaks Knoll. These knolls are also important for archeological and environmental reasons.



West of the Urban Development Area, the hills flatten out toward San Francisco Bay. To the east, the ridge drops steeply into Palomares Canyon. Elevations range from approximately 800 feet in the southwest corner of the Urban Development Area to approximately 1500 feet in the eastern portion. In general, the higher portions of the landform correspond with the most readily developable portions of the site in terms of slope, soil stability, and scenic views.

### Slope

The Existing Site Conditions Map divides the Urban Development Area into three broad slope ranges, which correspond to the slope categories in the City's Hillside Design and Urban/Wildland Interface Guidelines.

The 0-15% slope category represents those slopes that can most easily be developed, ~~where grading of house pads is permitted under the Guidelines,~~ and where streets may be located in almost any orientation without significant grading.

The 16-25% slope category identifies those areas where ~~the Guidelines discourage significant pad grading~~ pad grading is somewhat more difficult, and where street placement is limited due to the steepness of the terrain.

The over 25% slope category identifies those areas with the most significant development constraints. ~~The Guidelines indicate that any development in these areas must consist of sloped lots to minimize grading. Many of these areas are not suitable for development because of the severe slopes and heavy oak woodland vegetation~~ and where grading for home pads and roads is more difficult.

### Geology

The dominant rock type exposed on the site is a medium to coarse grade marine sandstone, interbedded with thin layers of siltstone or claystone. The bedrock is exposed at many areas of the site where picturesque boulder outcrops with a distinct northwestern trend are very evident. These outcroppings are distinctive features in the Urban Development Area. The largest outcrop grouping is identified as Rocky Knoll on the Existing Site Conditions Map.

Areas with rock outcrops or other areas with the bedrock near the surface may require blasting for utility trenching or other improvements, thereby increasing the cost of site infrastructure.

### Soils/Slope Stability

Soils within the Urban Development Area are comprised of four types, with Gaviota and Millsholm soils making up the majority of the area. These soils are characterized by moderate to rapid permeability and low to moderate shrink/swell potential. Erosion potential can be quite severe, depending upon the slope and amount of runoff. Development in the area will have to control the amount and velocity of runoff in order to minimize erosion.

A number of landslides exist within the four ownerships, but the majority are located outside the Urban Development Area. Hence, landslides are not prevalent within the Urban Development Area, although developers will need to repair any minor landslides to remove a potential hazard.

### **Vegetation**

Within the Urban Development Area, the site is characterized by rolling ridgelines predominantly covered by non-native grasses. The grasslands have been regularly grazed by cattle. Significant stands of Central Coast Riparian Forest and Coast Live Oak Woodland exist in the steeper canyons and valleys bordering the Urban Development Area. In fact, the boundary of the Urban Development Area is largely defined by the edge of the Oak Woodland, which also generally corresponds to where slopes begin to exceed a 25 percent grade.

Scattered stands of Coast Live Oak, California Bay, and Eucalyptus occur at various locations within the Urban Development Area. Stands of Coastal Scrub (primarily Coyote Brush) are also evident on many slopes that border the Urban Development Area.

Development of the site raises urban/wildland interface concerns, particularly where housing will be located at the heads of canyons, at areas situated above steep vegetated slopes, and at areas which directly interface with woodland or coastal scrub vegetation. Development projects will have to incorporate firebreaks, emergency access, and a fuel modification plan to reduce potential fire hazards.

### **Man-made Features**

The Urban Development Area is improved with several dwellings, agricultural structures, and stock ponds for cattle-grazing. A P.G. & E. transmission line traverses the site in a northwest/southeast direction immediately to the east of the main ridge. Potential archaeological resources within the Urban Development Area have been identified in the Program FEIR and will need to be documented or preserved during the development of the property.

## **SPECIFIC PLAN CONSIDERATIONS AND OBJECTIVES**

### **Policy Considerations**

The housing development and other policies contained in this Specific Plan are supported by many diverse considerations and adopted City Council policies, including but not limited to the following:

- The policies in this Specific Plan regarding ~~number of housing units and the limit of urban development~~ implement one of the environmentally preferred project alternatives

in the Walpert Ridge Program FEIR, up front construction of a new school, dedication of a joint park/school site, padded lots, and dedication of open space implement preferred development elements in the Ad Hoc Committee on Hayward 1900 Report to the City Council.

- The development of housing pursuant to this Specific Plan will result in housing density consistent with the General Policies Plan, ~~which designates the Map, which designates~~ Walpert Ridge Development Area for Residential, Suburban Density, ~~development (lot size 10,000 square feet or larger).~~ and Residential, Low Density.
- The containment of housing within the defined Urban Development Area pursuant to this Specific Plan will minimize environmental impacts on the rural serenity of Garin Regional Park.
- The Urban Development Area also corresponds to the Urban Limit Line, as defined in the Growth Management Element, and is intended to focus the location of urban development and conserve open space and habitat resources in the Specific Plan area.
- The development of housing pursuant to this Specific Plan will promote significant goals in the Housing Element, including but not limited to policies which encourage the development of a balanced housing supply, particularly housing oriented towards above moderate income households.
- The development of housing pursuant to this Specific Plan will promote the public health, safety, and general welfare of the City and future Walpert Ridge residents by requiring that all housing be located ~~with~~ within the 1.5 -mile service area of Fire Station No. 5 (or 1.6 miles as allowed by Development Policy I, A.3).
- This Specific Plan requires, as a condition of approval of specific development proposals, the incorporation of mitigation measures which either substantially reduce or fully mitigate the significant adverse environmental impacts of development.

### Policy Objectives

The policies expressed in this Specific Plan will protect the public health, safety, and welfare of the community by ensuring an optimal balance between residential and open space uses. These policies do not advocate the development of all of the potentially buildable land on Walpert Ridge. ~~However, the policies do allow the development of estate type housing on the northern portion of the property, which exhibits the natural amenities and scenic views that are conducive for such housing.~~ The policies set forth herein are designed to achieve a greater public benefit that can only be accomplished when the most significant needs for housing and open space are both met and when the adverse consequences of an excessive commitment to either use are avoided.

The residential development policies will:

- Increase the regional supply of ~~larger estate type housing~~ executive housing ranging from larger estate lots to smaller lots that could accommodate "empty-nester" and smaller households which would, in turn, alleviate the demand for this type of housing. It would also place on the general market more moderately priced homes as households purchase the "move-up housing" that is expected to be offered on Walpert Ridge;
- Reduce the development pressure on alternate and more remote locations in the region by providing housing at a central location in the Bay Area that is closer to the primary employment areas.
- Provide a more balanced housing supply in the City of Hayward by providing housing for a portion of the population that is presently underserved;
- Strengthen the local economy by improving and expanding the market base in Hayward for businesses, services, and employment opportunities that depend on an adequate supply of above-moderate income households;
- Provide street improvements that are needed to mitigate anticipated traffic impacts resulting from the proposed housing and that will enhance present service levels on the facilities to be improved.

The open space policies will:

- Minimize the intrusion of urban development into the natural setting of Garin Regional Park.
- Preserve open space vistas from surrounding areas and conversely protect ridge top areas from which park users will be afforded panoramic views of the Bay Area.
- Preserve for park, recreation, and open space purposes significant portions of the Walpert Ridge Planning Area.
- Protect and preserve woodland areas and important wildlife habitat for species such as the golden eagle, mountain lion, bobcat and mule deer.
- Minimize traffic impacts which are costly to mitigate and adversely affect the general quality of life.
- Avoid urban development beyond the Urban Limit Line, consistent with the policies in the Growth Management Element and the Specific Plan Development Policies.

The open space and residential policies contained in this Specific Plan are interrelated and interdependent. Thus, the proposed open space will enhance the residential environment

enjoyed by future residents on Walpert Ridge as well as existing residents in the Hayward Hills. The increased values of the residential property so enhanced will make it possible for the property owners and/or developers in the planning area to make the related and required dedications of open space to a public agency.

The policies contained in this Specific Plan are consistent with the City of Hayward's overall development goals:

- While the policies will improve Hayward's housing balance, the City will continue to recognize the need for moderate-income housing as well.
- Similarly, while the City is accommodating a limited number of units on Walpert Ridge, Hayward is concentrating its efforts on locating a majority of its new housing in proximity to the City's existing and planned streets and highways, and along mass transit lines.
- In order to protect the public health, safety, and welfare and reduce the fire risks associated with hillside development at the urban/wildland interface, urban development within the Walpert Ridge area has been limited to approximately the existing 1.5 -mile service area of Fire Station No. 5 (or 1.6 miles as allowed by Development Policy I, A.3).
- Finally, to ensure that development will not have an adverse effect on existing City services and facilities, policies and standards require developers to provide necessary infrastructure and public facility improvements.

~~While some~~ None of the lands within the Walpert Ridge area are ~~still~~ subject to the provisions of the California Land Conservation Act of 1965 (Williamson Act), ~~the property owners have filed for non-renewal to remove these lands from Williamson Act contracts. The last contract is slated to expire.~~ The last contract expired on January 1, 1996. Utilizing this land for open space and needed housing for the community as set forth in this Specific Plan will outweigh the value of this land if restricted solely for open space and agricultural uses. ~~Furthermore, the interest of the public will best be served by permitting cancellation of the remaining land conservation agreements to allow the land uses authorized in this Specific Plan and to implement the above policy objectives.~~

## DEVELOPMENT POLICIES

### Policy Category I: Land Use

#### A. Urban Development Area

1. All urban development shall be located within the Urban Limit Line, as designated on the General Policies Plan Map **and defined herein**. The Urban Limit Line for the Walpert Ridge area **generally** reflects existing topographical conditions and **confines** **allows** development within the 1.5 -mile service area of Fire Station No. 5, located at Hayward Boulevard and Skyline Drive, **or 1.6 miles as allowed by Development Policy I, A.3**. The approximate boundary of the Urban Development Area is generally depicted in Figure 3, page 9 **and includes the area proposed for development on the Bailey property, the area proposed for development under the Blue Rock Country Club project, and the Carden property.** ~~9.~~
2. The Urban Development Area shown in Figure 3 is general in nature. The precise boundaries of the 1.5 -mile service area of Fire Station No. 5 shall be determined when a specific development project is submitted and evaluated. A development project may be approved which varies slightly from the boundaries generally depicted in Figure 3 provided that such project will not increase the adverse environmental effects of development.
3. A minor extension of residential use beyond the 1.5-mile service area of Fire Station No. 5 may also be approved by the City Council (maximum 0.1 mile), as shown in the Land Use Plan (Figure 5, page ~~24~~    ). Design considerations for such an extension include, but are not limited to: sensitivity to minimizing grading and preserving significant site features such as Three Oaks Knoll; correlation of the limits of development to a logical topographical boundary; provision of adequate fire and emergency access; and proper treatment of the transition area between the residential units and open space to avoid a fire hazard.

#### B. Permitted Uses

1. Within Urban Development Area:
  - a. Land uses shall be consistent with the Residential, Suburban Density (1.0 ~~4.3~~ **to 4.3 units per net acre**) and the Residential, Low Density (**4.3 to 8.7 dwelling** units per net acre) designation in the General Plan.
  - b. The primary land uses permitted shall consist of:
    - Single-family detached housing;
    - Elementary school with core facilities for 650 students and classrooms for 350 students;

- Public and private park and recreational facilities, including golf course, tennis and swim uses and associated commercial uses;
  - Structures of public agencies and utility companies;
  - Hiking/riding trail and staging area; and
  - Open space.
- c. Other allowed uses shall be as identified in Section 10-1.200 of the Zoning Ordinance pertaining to the RS, Single-family Residential Zoning District, and shall be subject to the applicable development standards and permit requirements in the Zoning Ordinance.
- d. As part of a Planned Development application, the City Council may also consider other uses within the Urban Development Area that will serve the primary residential use, including but not limited to: a recreational vehicle storage yard; a private recreation facility; a community center; a horse arena/equestrian center; and a convenience commercial shopping center not exceeding five acres.

2. Outside Urban Development Area:

- a. Land Uses shall be consistent with the **Open Space, Parks and Recreation** designation in the General Plan.
- b. Permitted uses shall consist of: open space, community parks, hiking/riding trail and staging area, golf course uses, cattle-grazing, structures of public agencies and utility companies and, subject to City Council approval, other low-intensity recreational and agricultural uses.

**C. Basic Housing Capacity and Minimum Lot Size**

Within the Urban Development Area, development applications may be approved for a total of ~~500~~ 805 single-family detached housing units ~~on lots containing an average area of 10,000 square feet. No lot shall contain an area less than 9,000 feet. For purposes of calculating average lot size, no proposed single family lot shall be considered to contain more than 12,000 square feet.~~ Lots located on the Hayward 1900 property and the Catholic Church property shall contain a minimum area of 4,000 square feet. Lots located on other development areas shall contain an average of 10,000 square feet, with no lot less than 9,000 square feet in area.

**D. Density Bonus**

~~1. Up to 75 additional single family lots or a maximum 15 percent density bonus may be authorized within the Urban Development Area if the developer/property owner demonstrates and the City Council finds one or both of the following:~~

~~a. Design Considerations:~~

~~The additional lots substantially conform with the policies in this Specific Plan, are consistent with the Land Use Plan, meet or exceed the development standards and design guidelines contained in this Specific Plan, and contain design features which contribute to achieving a distinctive residential community; or~~

~~b. Financial Necessity:~~

~~An economic analysis is submitted, prepared by a qualified financial or economic consultant, that demonstrates that the additional lots are necessary to achieve a financially feasible project.~~

~~2. If Walport Ridge developers/property owners enter into a mitigation agreement with the Hayward Unified School District in lieu of dedication of a school site (as described in Policy II.B.2, page 30), additional lots may be approved over and above the potential density bonus, provided that these lots substantially comply with the development standards and design guidelines. An estimated 20 to 40 additional lots may be possible with deletion of the school site.~~

~~3. The potential housing capacity within the Urban Development Area shall be as follows:~~

~~Basic Housing Capacity: 500 lots~~

~~With 15 percent Density Bonus: 575 lots~~

~~With 15 percent Density Bonus  
& Mitigation Agreement  
(i.e. deletion of school site) 615 lots~~

**E. D. Allocation of Lots**

1. The potential housing capacity for individual properties is designated below. However, the actual number of lots allowed on any property shall depend on a detailed analysis and City Council review of development plans and their consistency with the policies and design standards and guidelines in this Specific Plan.
2. With consideration of the above policy statement, each property shall be allocated the following number of potential single-family lots based on the Land Use Plan (Figure 5, page 24):

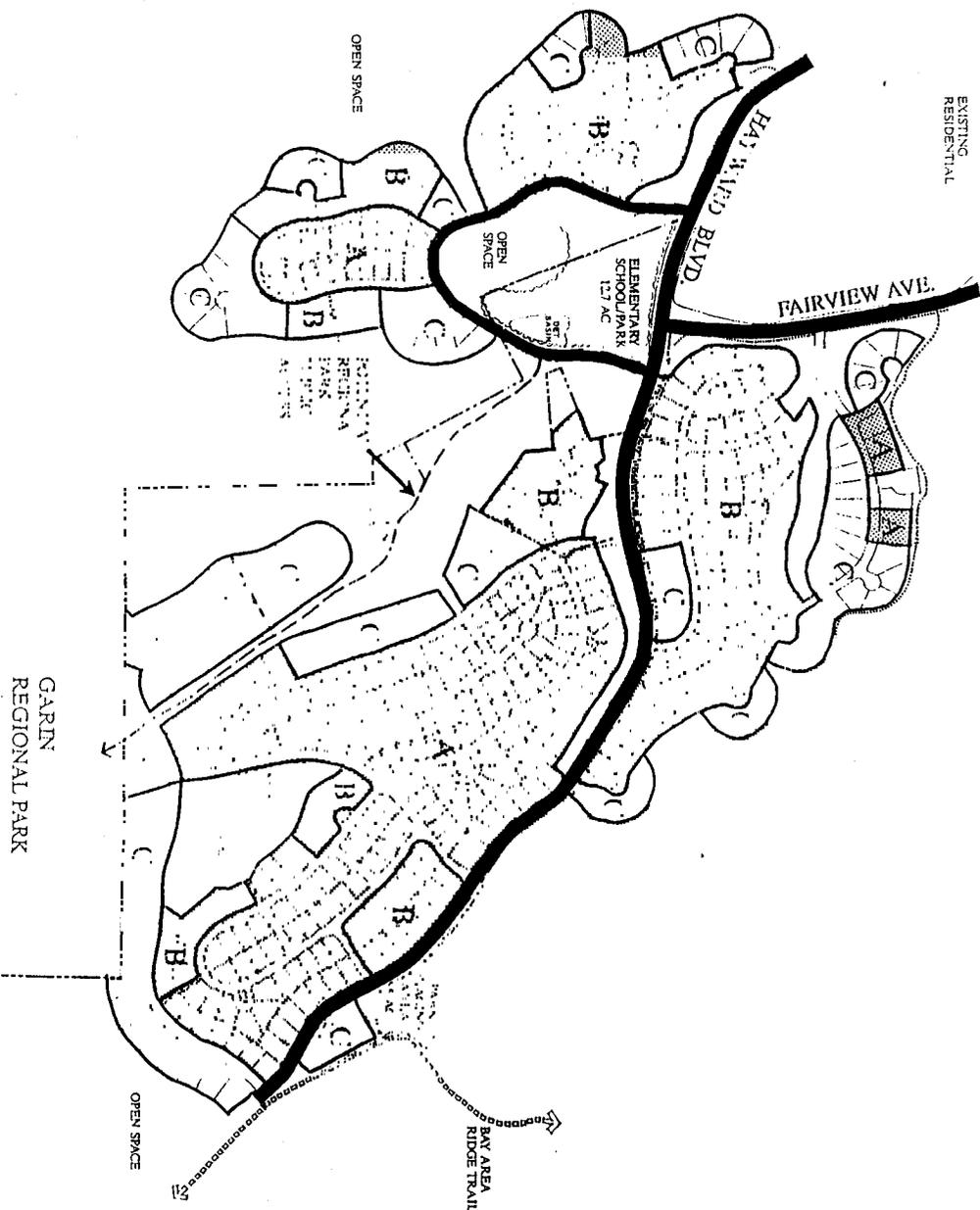
<b>10 Property</b>		<u>Basic Allocation</u>
<del>with</del>		<del>500-575</del>
<del>Allocation Density Bonus</del>		
Hayward 1900	<del>359-413*</del>	<u>603</u>
		<ul style="list-style-type: none"> <li>• <del>The Land Use Plan locates the school site entirely on Hayward 1900 property. If Walpert Ridge property owners/developers enter into a mitigation agreement with HUSD, Hayward 1900's housing allocation will be 433-453 units.</del></li> </ul>
Bailey	<del>101-116</del>	<u>135</u>
Roman Catholic		
Church	<del>28-32</del>	<u>47</u>
Carden	<del>12-14</del>	<u>20</u>
<b>TOTAL</b>		<u>805</u>

\* The Blue Rock Country Club project proposed by Hayward 1900 would include a total allocation of 650 lots on the property owned by Hayward 1900 and approximately 57 acres owned by the Catholic Church.

3. If a developer/property owner does not choose to develop its entire "Basic Allocation" as listed above, the excess development capacity may be transferred to another Walpert Ridge property owner and shall constitute a transfer of development potential, subject to the City Council determining that the transfer substantially complies with Specific Plan policies, standards and guidelines. Such a transfer shall be authorized through a Development Agreement or another acceptable recorded agreement.

**~~Potential density bonus units shall not be transferable.~~**

EXISTING  
RESIDENTIAL



22

**WALPERT RIDGE  
SPECIFIC PLAN**

CITY OF HAYWARD, CALIFORNIA

**THE SWA GROUP**  
Land Planner

**REIMER ASSOCIATES**  
Engineer

VIA  
Visual Impact Analysis

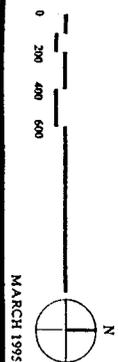
**WILDLAND RESOURCE MANAGEMENT**  
Fire Management

**LEGEND**

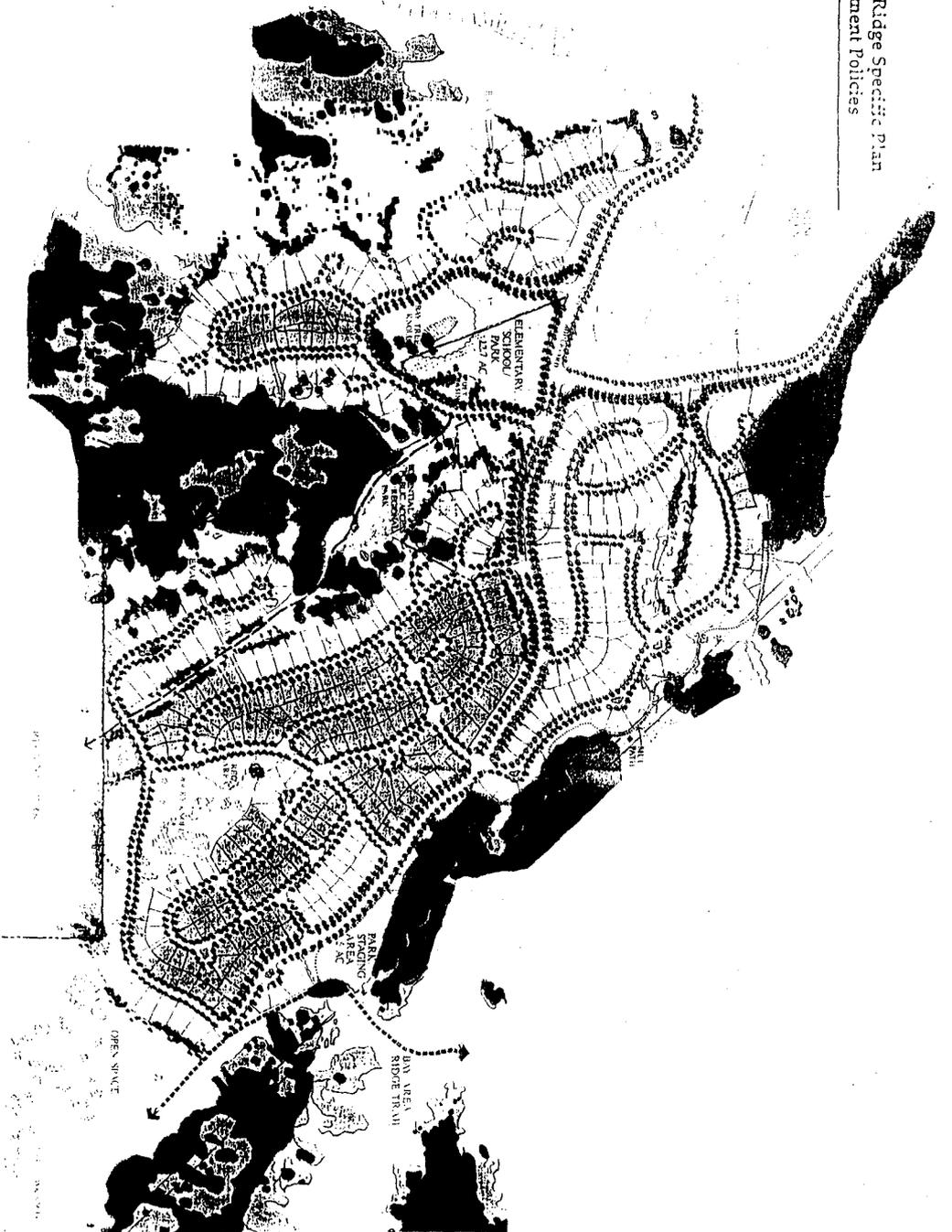
LOT SUMMARY	
<b>A</b>	RESIDENTIAL LOT (80' MIN. FRONTAGE) 9,000-10,000 SF ± 212 UNITS
<b>B</b>	RESIDENTIAL LOT (80' MIN. FRONTAGE) 10,000-20,000 SF ± 159 UNITS
<b>C</b>	RESIDENTIAL LOT (100' MIN. FRONTAGE) 20,000 SF ± 129 UNITS

**Notes:**

1. Land uses within the Urban Development Area shall be consistent with Residential, Suburban Density, in the General Plan and Development Policy I.B. 1 in the Walpert Ridge Specific Plan.
2. The boundary between lot types are shown conceptually only.



**Figure 5**  
Land Use Plan



**WALPERT RIDGE  
SPECIFIC PLAN**

CITY OF HAYWARD, CALIFORNIA

**THE SWA GROUP**  
Land Planner

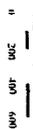
**REIMER ASSOCIATES**  
Engineer

VIA

Visual Impact Analysis  
Wildland Resource Management  
Eric Madaromson

**LEGEND**

100' SETBACK		
PURPOSE LOT	200' MIN	
70' BOUNDARY SET		
EXISTING PURPOSE LOT	150' MIN	
100' BOUNDARY SET		
STANDARD LOT	120' MIN	
20,000 S.F. +	10' W	
ELEMENTARY SCHOOL	25' W	
PARK		
BAY AREA RIDE TRAIL		
POTENTIAL RECREATION		
PARK ACCESS		
POTENTIAL FIRE WEEDS		
WILDLIFE PAID		
OPEN SPACE		



MARCEL 1995

**Figure 6**  
Illustrative Site Plan

~~4. When an increase in the "Basic Allocation" is proposed through a transfer of development potential, the developer/property owner receiving the transfer shall be allowed greater flexibility in demonstrating consistency with the Land Use Plan and the design standards and guidelines in this Specific Plan. A slight reduction in the minimum and average lot size standards may also be approved by the City Council.~~

Figure 6: Illustrative Site Plan

**F E.** Land Use Plan

1. The Land Use Plan (Figure 5, page 22) and Illustrative Site Plan (Figure 6, page 23) conceptually show a possible layout for the single-family lots, public facilities, open space and the street system within the Urban Development Area. These two plans, along with the Preliminary Development Plan for the Blue Rock Country Club (collectively the "Plans"), reflect the following policy objectives:
  - a. Provide for a safe, efficient, and coordinated circulation system within the Urban Development Area that respects the existing topography;
  - b. Promote lot sizes and lot grading that will be sensitive to the existing hillside terrain and that will allow for variations in the size and design of housing within the development, while allowing for padded lots;
  - c. Ensure an equitable distribution of lots among the different properties that correspond to the physical features of the Urban Development Area;
  - d. Preserve to the extent possible important and sensitive open space features such as Rocky Knoll, Bay Trees Knoll, Three Oaks Knoll, and Dry Creek Canyon located between the Hayward 1900 and Bailey properties;
  - e. Preserve view corridors to the surrounding open space;
  - f. Site park and school facilities at locations that can be conveniently accessed by the community;
  - g. Provide for an attractive landscaped frontage and project entrance along Hayward Boulevard and Fairview Avenue; and
  - h. Accommodate public access to the Bay Area Ridge Trail and Garin Regional Park.
  - i. Ensure adequate fire and emergency access within the Urban Development Area and to the surrounding open space.
  - j. Allow an 18-hole golf course integrated with residential development and**

related facilities, including a club house, a tennis and swim club, a maintenance building, and rest stations.

2. ~~The 2. The two~~ Plans conform to the Residential, Suburban Density and Residential, Low Density designation on the General Policies Plan Map and are consistent with objectives and policies in this Specific Plan. The design criteria reflected in ~~both the~~ Plans are articulated through the Design Standards and Guidelines contained in this Specific Plan. ~~The plans and the Design Guidelines for the Blue Rock Country Club project.~~ The Plans shall guide the review of future development proposals, but shall not be interpreted as dictating a precise development plan.

### Policy Category II: Development Prerequisites

Prior to or concurrent with the approval of development proposals within this Specific Plan area, the public facility improvements and/or land dedications required by the following policies and development standards shall be completed or guaranteed as set forth hereinafter.

#### **A. Open Space Preservation**

1. All areas located outside the defined Urban Development Area, as shown in Figure 3, page 9 and all areas designated as open space within the Urban Development Area, as generally shown on Figure 5, page 22 shall be retained as permanent open space. Ownership and management of such open space shall be through one or a combination of the following methods, as determined by the City Council:
  - a. Dedication to a Public Agency:

Such dedications shall ~~precede the approval~~ occur before, or concurrent with, the recordation of a final tract map on any building site or shall be guaranteed by a Development Agreement that designates a procedure and schedule for those dedications, subject to approval of the public agency accepting the dedication. Such dedication may occur on a phased basis in conjunction with each final map. The term building site as herein used refers to a parcel of land or contiguous parcels of land under the same ownership on which development and open space are both proposed.
  - b. Ownership and Maintenance by Community Homeowners Association:

A scenic and conservation easement or another comparable deed restriction, as approved by the City Council, shall be recorded on the open space parcels prior to ~~approval~~ recordation of a final tract map on any building site, as defined above. Ownership, maintenance responsibility, and a permanent financing mechanism shall be specified in the Conditions, Covenants, and Restrictions (C, C, & Rs) for the development. The developer shall deposit with the homeowners association sufficient funds to maintain the open space for a minimum five-year period prior to City Council acceptance of the subdivision.

**c. Ownership and Maintenance of Golf Course by a Private Entity:**

**A scenic and conservation easement or another comparable deed restriction, as approved by the City Council, shall be recorded on the golf course area parcels prior to or concurrent with the recordation of the final map(s) for the golf course.**

2. The open space preservation herein required shall involve the lawful conveyance of real property to a public agency or homeowners association through the recordation of a deed restriction(s) that limits the use of the property for park and low-intensity recreation and agricultural uses only and maintains the site as open space in perpetuity. Uses allowed in these areas shall not compromise the primary scenic and recreational purposes of the open space, except that miscellaneous public improvements (such as water tanks) may be allowed that functionally have to be sited in the open space area.
3. For applicable open space parcels that may remain in private ownership, an easement for the Bay Area Ridge Trail and related trail staging area shall be provided that complies with the standards and criteria of the public agency accepting these easements. (See Policy I.C.1, page 28)

**B. School and Park Sites**

1. Dedications:

- a. A minimum 11.5-acre joint elementary school and local park site shall be dedicated to the Hayward Unified School District (HUSD) and the Hayward Area Recreation and Park District (HARD). The site, ~~which shall consist of ten (10) acres for the school and three (3) acres for the park,~~ shall be located at Hayward Boulevard with frontage on the entry/ridge drive as generally shown on the Land Use Plan ~~(Figure 5, page 24).~~
- ~~b. A second approximately 5-acre local park site shall be located within the development in the vicinity of the staging area for the Bay Area Ridge Trail with frontage on the entry/ridge drive. The required acreage for the park site shall not include any land encumbered by the P.G. & E. easement.~~
- e b. Unless otherwise specified in a development agreement, the dedication of the park and school sites shall be completed as a condition of approval of the final tract map for the subdivision in which the sites are located.
- ~~d~~ c. Property owners/developers that are not required to directly dedicate the designated school and park sites shall contribute their fair share cost for acquiring the sites. Approval of a final tract map shall be contingent on formation of an a benefit district that will compensate those property owner(s)

responsible for providing the park and school sites.

2. Mitigation Agreement:

- a. Subject to the approval of the City Council, the ~~development prerequisite for dedication of the 10-acre school site may be waived if, prior to approval of a final tract map, the developer/property owner and HUSD owner of the~~ **Hayward 1900 property shall enter into a mitigation agreement. The agreement shall provide sufficient funds with the Hayward Unified School District for the construction of a 650-student core school facility, with classrooms to accommodate 350 students, including administrative offices and an auditorium, in the first phase of construction undertaken on the Hayward 1900 property. Construction of the school shall be undertaken by the owner of the Hayward 1900 property and shall also be funded by school impact fees from all of the property owners on Walpert Ridge as development occurs permanent classrooms and/or appurtenant facilities at an existing school site and the purchase of related furnishings and equipment to accommodate the students that will be generated from the development. The developer/property owner or HUSD shall demonstrate that the agreement will fully mitigate the impacts of development on school facilities as identified in the Program FEIR. The mechanism for reimbursement shall be established between the owner of Hayward 1900 and the Hayward Unified School District.**
- ~~b. If a school site is not dedicated, then one approximately 8-acre park site shall be dedicated to HARD, with the location and configuration to be approved by the City Council and HARD.~~

3. Development Standards:

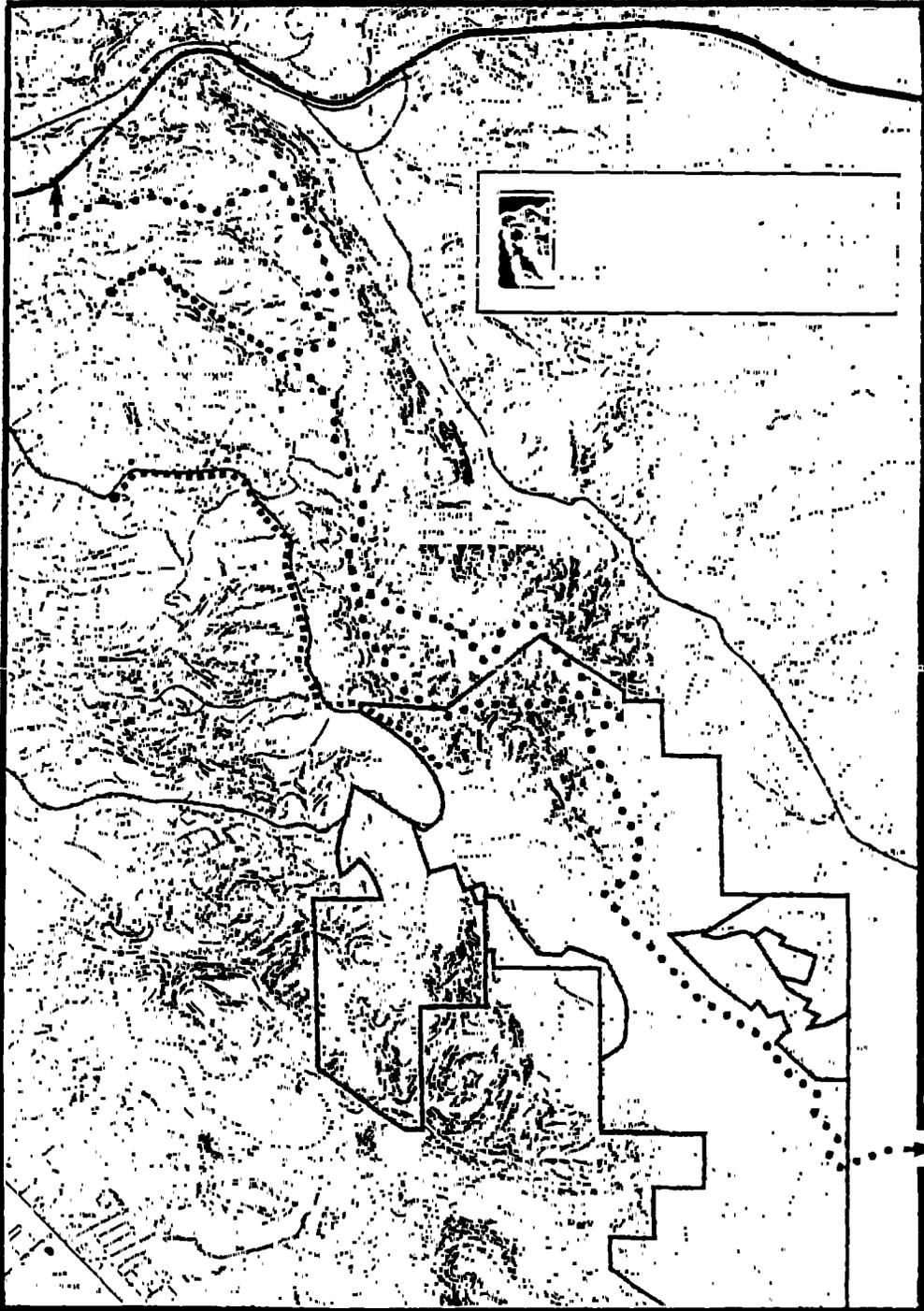
- a. The site dedications or improvements required under the mitigation agreement shall be consistent with the applicable standards, codes and regulations of the City, HUSD, HARD, and the State Department of Education, and shall be subject to a finding of General Plan conformance pursuant to Section 65402 of the State Government Code.
- b. The developer shall be responsible for installing all street frontage improvements and extending utilities to the park and school sites.
- c. The school site shall be graded by the developer to create a large level area or several large terraces in accordance with the requirements of HUSD.
- d. The park site(s) shall be graded by the developer to create a minimum of ~~three~~ **five acres of flat area for playfields including two soccer fields.** Terracing may be allowed provided each terrace will be a minimum of ~~1.5 acres in size and 250 feet in width~~ **area adequate for a soccer field.**

- e. Credit for the provision of private recreation facilities may be allowed by the City in accordance with the Parkland Dedication Ordinance (Chapter 7, Article 4 of the Hayward Municipal Code).

**C. Other Site Dedications & Improvements**

1. Bay Area Ridge Trail:

- a. The right-of-way or easement for the regional Bay Area Ridge Trail and a trail staging area shall be dedicated to a public agency. Said right-of-way shall generally conform to the alignment adopted by the Bay Area Ridge Trail Council as shown on Figure 7, page 29. Said dedication shall be contingent upon the willingness of a public agency to accept, maintain, insure, and construct the regional trail. **The trail staging area shall be located at or adjacent to the school site.** ~~b. A hiking/riding trail shall also be provided along the entire property frontage of Fairview Avenue with a trail link provided from this trail to the Ridge Trail. A trailhead with a parking turn-out shall be provided along Fairview Avenue if excessive grading would not be required to accommodate this facility.~~



**WALPERT RIDGE  
SPECIFIC PLAN**

Figure 7  
Bay Area Ridge Trail

2. Regional Park Access:

- a. A right-of-way or easement for public and service access from Hayward Boulevard to the north end of Garin Regional Park shall be dedicated to the East Bay Regional Park District, which shall generally follow the alignment of the existing access easement located in the canyon between the Hayward 1900 and Bailey properties. (See Figure 5, page 24) 22.) Due to the limited public use and to reduce impacts on existing oak woodland vegetation, this road right-of-way or easement beyond the elementary school/park site may be the minimum width acceptable for fire safety. This road shall also serve as an emergency vehicle access (EVA) route through north Garin Park to the Hayward 1900 site.
- b. Trail connections to the HARD local trail system and Garin Regional Park shall be provided.

3. Streets and Utilities:

- a. The right-of-way for all on-site public streets, utility improvements, and the sites for miscellaneous public facilities (storm detention basins, sewer lift stations, reservoir sites, etc.) shall be dedicated to the City.
- b. All With the exception of the Blue Rock Country Club project including the Hayward 1900 and Catholic Church properties, all streets within the project shall should be public. A gated community with private streets that comply complies with the Design Standards and Guidelines in this Specific Plan shall be allowed for the Blue Rock Country Club Project proposed for the Hayward 1900 property and the Catholic Church property.
- c. Unless otherwise specified in an approved development agreement, the dedications required by this Specific Plan shall be completed as a condition of approval of the final tract map for any subdivision: 1) where the aforementioned rights-of-ways or sites are to be located; or 2) where lots will depend on service from the aforementioned improvements and facilities.
- d. The infrastructure improvements, utilities, and facilities required to serve the anticipated needs of the Urban Development Area shall be funded and/or constructed in accordance with the policies and development standards in this Specific Plan, the conditions of approval for each project, and any subsequent development agreement.

4. On-Site Water Tanks

- a. Because a second water storage tank will ultimately be needed at the existing 1285 reservoir site, land shall be provided adjacent to this site for the future construction of a second storage tank. Approximately one acre of land shall be dedicated to the City with provisions for adequate access.
- b. Walpert Ridge developers proposing development on building sites which exceeds an elevation of approximately 1220 feet shall be responsible for constructing additional water storage facilities at a higher elevation than the existing tank at elevation 1285 feet. An approximately two-acre site, with additional right-of-way for access, shall be dedicated to the City for the new water tanks. The site shall be located at an elevation high enough to provide acceptable service pressure to the highest building site. Adequate landscape buffering shall also be provided. (Also refer to Design Standards and Guidelines, page 74, 45 .)

D. **Off-Site Improvements:** (see Figure 8, page for locations)

1. Transportation:

- a. For the purpose of accommodating the traffic that will be generated on the local street system from development on Walpert Ridge, developers shall fully fund or contribute the proportionate cost of constructing the off-site traffic improvements, ~~listed in Exhibit A (page 37).~~ These traffic improvements are identified in the Program FEIR SEIR prepared for the Blue Rock Country Club project as required mitigation measures ~~for the level of development allowed under this Specific Plan.~~
- ~~b. Walpert Ridge developers shall be responsible for a portion of the cost for improving Fairview Avenue, Mission Boulevard (if SR 238 By pass is not constructed), Center Street, and the B/Center/Kelly intersection. The percentage obligation is shown in Exhibit B (page 40), which are derived from the traffic analysis in the Program FEIR.~~
- ~~c. b.~~ b. The allocation of estimated costs to individual subdivisions shall assume that Walpert Ridge will be developed with 500 housing units. The fee for each lot ~~allowed under the "base allocation" shall be 1/500 of the total cost ascribable to Walpert Ridge per Exhibit B (page 40). Should a density bonus be approved pursuant to Policy Category I, Section D (page 21), the fee for each additional lot shall be equal to the per unit fee calculated for each of the 500 lots.~~ 805 housing units.
- ~~d c.~~ d c. Prior to approval of any Final Tract Map on Walpert Ridge, the City Engineer shall estimate the cost of providing the off-site traffic improvements listed in Exhibit A and determine the obligation of Walpert Ridge property

owners/developers ~~per Exhibit B (page 40)~~. Unless otherwise stipulated in a development agreement or project specific conditions of approval, fees so calculated shall be paid to the City prior to the approval of any final tract map. Such fees shall be held by the City in a special account for the purpose of constructing the improvements.

~~e. The fees required for the off-site improvements listed in Exhibit B (page 40) may qualify for an in-lieu tax credit pursuant to Article 15, Section 8-15.09, of the Hayward Municipal Code, as determined by the City Council.~~

2. Fire Station No. 5:

- a. To mitigate the impacts on City fire services as required in the Program FEIR, Walpert Ridge developers shall be responsible for fully funding the acquisition of a Type III wildland/interface fire engine or similar vehicle that is designed to combat fires in wildland areas and protect adjacent structures. Walpert Ridge developers shall also fully fund the cost of expanding Fire Station No. 5 as necessary to house the new vehicle.
- b. Prior to approval of any Final Tract Map on Walpert Ridge, the City Engineer and Fire Chief shall estimate the cost of providing this development prerequisite and shall determine a per unit fee for ~~500~~ 805 single-family lots. Unless otherwise stipulated in a development agreement, fees so calculated shall be paid to the City prior to the approval of any final tract map. Such fees shall be held by the City in a special account for this purpose.

3. Water Distribution System:

Walpert Ridge developers shall be responsible for partially funding the cost of upgrading or providing the water pumping facilities at the existing Walpert reservoir and along the Highland Chain to serve the level of development allowed under this Specific Plan. Specific improvements, the estimated cost, and the percentage obligation of Walpert Ridge developers ~~will be determined during the preparation of the City's Water Distribution System Master Plan~~ are presented in the 1997 City's Analysis of Water Facilities for the Proposed Walpert Ridge Development including Blue Rock Country Club.

4. Sanitary Sewer System:

If determined to be necessary following a more detailed analysis of wastewater flow projections, Walpert Ridge developers shall construct a new off-site gravity sanitary sewer line from the Urban Development Area down Hayward Boulevard, connecting to an existing 12-inch line in the vicinity of Parkside Drive. Necessary improvements will be determined ~~during the preparation of~~ by the City's Sewer Collection System Master Plan dated 1995 and subsequent project specific documents, as approved by the City.

~~Exhibit A, p. 1~~

~~Exhibit A, p. 2~~

~~Exhibit A, p. 3~~

~~Exhibit B, p. 1~~

~~Exhibit B, p. 2~~

### Policy Category III: Financing

#### A. Reimbursements

1. Unless otherwise specified in this Specific Plan or stipulated in a Development Agreement, Walpert Ridge property owners/developers shall be responsible for financing their equitable portion of the development prerequisites described under Policy Category II. Property owners/developers shall also be responsible for funding their fair share of on-site infrastructure improvements which serve all or several property owners/developers based on the general principle of benefit received.
2. The responsibility and financing options for providing the required development prerequisites and infrastructure improvements shall be in accordance with Exhibit ~~CA~~ (page ~~45~~) 36.
3. Property owners/developers providing the development prerequisites required in Policy Category II and constructing any shared or oversized infrastructure improvements shall receive a future reimbursement of the portion of their contribution which exceeds their fair share obligation through creation of a benefit district.
4. Those property owners benefiting from the up-front provision of development prerequisites and improvements shall contribute their pro-rata share plus interest when final tract maps are approved on their properties. In accordance to the provisions of the benefit district, these future contributions shall be collected by the City and distributed to the property owners/developers that earlier provided the prerequisites and improvements.
5. When a development prerequisite involving land dedication has yet to be completed (e.g. school or park site), development can proceed on properties that are not required to dedicate the sites if these properties contribute in advance their fair share cost of the future dedications and related improvements through a benefit district. The fair share cost shall be based on the appraised value of these future dedications and improvements and the benefit received.
6. The fair share cost shall be contributed by the property owner/developer as follows: a) providing the in-kind cost for another development prerequisite or shared infrastructure improvement; b) depositing funds to the City prior to approval of a final map which will ultimately be paid to the property owner/developer(s) ~~owner/developer(s)~~ providing the prerequisite; or 3) another payment method and schedule approved by the City Council.

7. Reimbursements shall be subject to the following provisions:
- a. Shall be provided pursuant to the terms of a reimbursement agreement, approved by the City Council, which shall be executed by a property owner/developer prior to the approval of a final tract map;
  - b. Shall be granted pursuant to the provisions of a Local Improvement Benefit District adopted in accordance with Chapter 8, Article 16 of the Hayward Municipal Code;
  - c. Shall be equal to the number of units included in each proposed subdivision being approved, divided by the total number of units anticipated in the Benefit District, times the total cost of the involved prerequisites including district formation costs;
  - d. Shall be based on the cost of providing the improvements or a City-approved appraisal of the value of the dedications once adequate public access and utilities are provided; and
  - e. Shall be derived from a Benefit District that includes all of the properties or lots benefiting from the prerequisites or improvements.

**B. Operation and Maintenance Costs**

1. Responsibility:

- a. The City Council may find that certain on-site infrastructure improvements will only benefit the development and not the City as a whole. Special costs may be associated with operating, maintaining, and servicing these improvements. These costs shall be borne by the future residents within the development. Examples of special purpose facilities consist of: common area landscaping including parkways and planter strips, special on-site sewer pump stations, fuel management zones, detention basins and related storm water drainage facilities, and possibly upgraded street lights and signing.
- b. The responsibility and financing options for operating and maintaining infrastructure improvements, public facilities, and public services shall be in accordance with Exhibit ~~C~~ A (page ~~45~~) 36.

2. Assessment District:

When special facilities as listed above are required that primarily benefit the future residents on Walpert Ridge, special assessment districts or another financing mechanism shall be established by the City Council to adequately fund the service costs associated with operating and maintaining these facilities. Future development

entitlements/approvals shall include a condition requiring the formation and funding of these special assessment districts or service agencies.

**EXHIBIT-C- A**  
**WALPERT RIDGE SPECIFIC PLAN**  
**Responsibility & Financing Source For Infrastructure Improvements & Public Facilities**

Item <sup>1</sup>	Improvements		Operation & Maintenance (O & M)	
	Responsibility for Construction	Financing Source	Responsibility for O & M	Financing Source
1. Street System a. On-Site Improvements b. Off-Site Improvements	Developer/Owner	Developer/Owner Benefit District <sup>2</sup>	City or HOA	HOA if private
	City	City & Developer Participation	City	City
2. Street Lights a. Standard b. Upgraded	Developer/Owner	Developer/Owner	City	City
	Developer/Owner	Developer/Owner	City or H O A	Assessment District/ HOA
3. Parkways/Common Landscaping	Developer/Owner	Developer/Owner	City/H O A	Assessment District/ HOA
4. Open Space a. Internal & External b. Fuel Modification Zone	Developer/Owner	Developer/Owner	HOA/Public Agency	Assessment District/ Public Agency
	Developer/Owner	Developer/Owner	HOA	Assessment District
5. Water Tanks & Distribution System a. On-Site Improvements b. Off-Site Improvements	Developer/Owner	Developer/Owner Benefit District <sup>2</sup>	City	Water Fund
	City	City & Developer Participation	City	Water Fund

Continued, next page

Walpert Ridge Specific Plan  
Development Policies

Item <sup>1</sup>	Improvements		Operation & Maintenance (O & M)	
	Responsibility for Construction	Financing Source	Responsibility for O & M	Financing Source
6. Stormwater System a. Collection System b. Detention Basins	Developer/Owner	Developer/Owner Benefit District <sup>2</sup>	City or HOA	City or HOA
	Developer/Owner	Developer/Owner Benefit District <sup>2</sup>	City or H O A	Assessment District or HOA
7. Sanitary Sewer System a. On-Site & Off-Site Collection System b. Pump Stations	Developer/Owner	Developer/Owner Benefit District <sup>2</sup>	City	Sewer Fund
	Developer/Owner	Developer/Owner Benefit District <sup>2</sup>	City	Sewer Fund and/or Assessment District
8. Other Utilities (electric, gas, telephone, cable TV)	Developer/Owner Utility Companies	Developer/Owner Utility Companies	Utility Companies	User Fees & Charges
9. Fire Station #5 Addition and New Fire Apparatus	City	Developer/Owner Benefit District <sup>2</sup>	City	City
10. Park(s) a. Land b. Improvements	Developer	Developer/Owner Benefit District <sup>2</sup>	N/A	N/A
	HARD	HARD/Assessment District(?)	HARD	HARD
11. School Site a. Land b. Improvements	Developer	Developer/Owner Benefit District <sup>2</sup>	N/A	N/A
	HUSD	HUSD/School Mitigation Fees/- Assessment District(?)	HUSD	HUSD

1. Unless otherwise indicated, all items pertain to on-site improvements and facilities.  
2. Benefit District or similar mechanism can pertain to recovering costs paid by one developer that are for a portion of improvements benefiting other properties.

## **Policy Category IV: Implementation**

### **A. Specific Plan Amendments**

Future amendments may be required to bring this Specific Plan into conformance with the General Plan or may be desired to accommodate a specific development proposal. Any proposed amendment to this Specific Plan shall be processed following the same review and approval procedure as a General Plan amendment. However, this Specific Plan may be amended as often as deemed necessary by the City Council, provided that such amendments conform to the General Plan.

### **B. Specific Plan Fee**

1. The City Council may require developers/property owners to pay a Specific Plan fee with the filing of each application for approval of a development project. As determined by the City Council, the fee shall be pro-rated on a per dwelling unit basis according to benefits received by each developer/property owner. Such fee shall be based on the cost for preparing, adopting, and administering this Specific Plan and for preparing and processing the required environmental documents to comply with CEQA.
2. Any proposed amendment to this Specific Plan which is initiated by a property owner/developer shall be subject to the same development processing fee as for a General Plan amendment.

### **C. School District Boundaries**

The Urban Development Area is primarily located within the boundary of the Hayward Unified School District. A portion of the larger Walpert Ridge area is located within the Castro Valley Unified School District. Access to the Ridge, however, can only be achieved through the Hayward Unified School District, and any attempt to service the Ridge from Castro Valley will require the extensive use of busing and/or additional automobile trips on the already burdened local street system. For these reasons, this Specific Plan incorporates the policy as originally stated in the Walpert Ridge Specific Area Plan, to include all of the Urban Development Area within the Hayward Unified School District and to preclude development in areas not yet served by the District.

### **D. Environmental Mitigation**

1. The City Council finds that the policies, plans, development standards, and design guidelines contained in this Specific Plan have been formulated to "... avoid or substantially lessen the significant environmental effects (of development) as identified in the Final EIR," pursuant to Section 15091 (a) (1) of the State CEQA Guidelines.
2. The development entitlements required for a project shall be conditioned to ensure that all of the identified mitigation measures in the Program FEIR **and, for the**

Hayward 1900 property and the Catholic Church property, as updated by the Blue Rock Country Club environmental documentation, will be implemented and enforced, ~~with the exception of the mitigation measure pertaining to widening Mission Boulevard. (Per Exhibit A, p. 38, an alternative mitigation project is allowed.)~~. The City Council may require developers to submit a monitoring plan for implementing the mitigation measures.

3. Archeological and Cultural Resources: Significant archeological and cultural resources, as identified in the Program FEIR, shall be mitigated through precise documentation or preservation under the direction of a qualified archeologist. Development entitlements shall include a condition that requires a mitigation plan which implements the recommendations in the Program FEIR.
4. Development applications shall be subject to Sections 21080.7 and 21166 of the State Public Resources Code (CEQA) and Sections 15162, 15163, and 15168 of the State CEQA Guidelines regarding additional environmental review for projects proposed with a Specific Plan and Program EIR. Generally, an additional environmental document will only be required for specific development projects where significant impacts may result from: a) required amendments to this Specific Plan to accommodate a project; b) changes in the environmental circumstances under which a project is undertaken; or c) the availability of substantial new information that was not known when the Program FEIR was certified.

**E. Consistency with Applicable Laws and City Ordinances and Guidelines**

1. The City Council hereby declares that the provisions of this Specific Plan shall be interpreted and applied in a manner which is consistent with applicable law.
2. Development proposals shall substantially conform to this Specific Plan as well as all applicable City ordinances, standards, and guidelines, including but not limited to: the Zoning Ordinance, Subdivision Ordinance, Grading Ordinance, Tree Preservation Ordinance, Standard Details, Design Review Guidelines, and Hillside Design and Urban/Wildland Interface Guidelines.
3. Where any provisions in this Specific Plan differs from any standards or guidelines contained in the above referenced documents, this Specific Plan shall govern. However, this Specific Plan shall not supersede applicable building, health, safety, and fire codes.

**F. Subsequent Development Entitlements**

1. Planned Development District:
  - a. The Planned Development (PD) Zoning District offers a level of flexibility for responding to specific site constraints and for minimizing adverse environmental effects. Because of the specific constraints associated with development on

Walpert Ridge, processing development applications as Planned Developments has been determined to be in the best interest of the City and the property owners/developers for implementing this Specific Plan. Therefore, it is the policy of this Plan to process future development proposals through a PD District pursuant to the Zoning Ordinance. ~~Further, the approval of a density bonus pursuant to Policy I.D (page 20) requires the adoption of such a district.~~

- b. Subsequent or concurrent development approvals that will be required for a project, including but not limited to tentative and final tract maps, parcel maps, and grading permits shall conform to the approved development plans and conditions for the applicable PD District.

### 3 2. Development Agreements:

- a. The City Council strongly encourages the use of Development Agreements pursuant to Chapter 10, Article 9 of the Hayward Municipal Code. Development Agreements shall conform to the General Plan, this Specific Plan, and the City's Planned Development District regulations.
- b. Property owners may combine their properties and jointly apply for a Development Agreement that, if subsequently approved by the City Council, may include the transfer of development capacities between those property owners.

### **G. Jurisdiction of Other Agencies**

Project compliance with the regulations and review or permit authority of other public agencies or utility companies shall continue to be required. These agencies include, but are not limited to:

- California Department of Transportation (CalTrans)
- California Department of Fish and Game
- U. S. Army Corps of Engineers
- Regional Water Quality Control Board (RWQCB)
- Bay Area Air Quality Management District (BAAQMD)
- Alameda County Flood Control District (ACFCD)
- Alameda County Congestion Management Agency (CMA)
- East Bay Regional Park District (EBRPD)

- Hayward Area Recreation and Park District (HARD)
- Hayward Unified School District (HUSD)
- Pacific, Gas and Electric Company (P.G. & E)
- U.S. Fish and Wildlife Service (USFWS)

## DESIGN STANDARDS AND GUIDELINES

### General

The objective of the Design Standards and Guidelines is to promote the development of an attractive and well-planned residential community that capitalizes on the natural amenities available within the Walpert Ridge Specific Plan area. More specifically, the standards and guidelines serve the following purposes:

- Implement and further define the development policies in the Walpert Ridge Specific Plan;
- Articulate the design elements that are reflected in the Land Use Plan and Illustrative Site Plan (Figure 5 and 6, pages ~~24~~ 22 and ~~25~~ 23);
- Supplement the City's existing development standards and the Hillside Design and Urban/Wildland Interface Guidelines;
- Define infrastructure standards pertaining to the on-site street, water, sanitary sewer, storm drainage, and utility systems; and
- Provide standards and guidelines for establishment of a fuel management zone at the urban/wildland interface.

Where these Specific Plan Design Standards and Guidelines conflict with existing City-wide standards and guidelines, these Specific Plan Design Standards and Guidelines shall apply.

For clarity, standards using the term "shall" indicate mandatory requirements for development. Guidelines using the terms "should" or "may" indicate elements which should be incorporated into development proposals where feasible. The application and interpretation of the guidelines will depend on factors such as specific site constraints, design limitations, aesthetic significance, or economic feasibility as determined by the City Council.

The Walpert Ridge Land Use Plan and Illustrative Site Plan generally depict the desired land use and circulation pattern for the Urban Development Area. Deviations from these Plans are allowed and shall be evaluated based on conformance with the policies in this Specific Plan and consistency with the following standards and guidelines.

## Circulation

- A. **Street Layout** (refer to Conceptual ~~Circulation~~ Plan, Figure 98, page 43     , or as **determined concurrent with review of specific projects.**
1. Streets should follow natural contours whenever possible and exhibit a smooth curvilinear alignment. Streets with long straight sections and short curves should be avoided.
  2. Long continuous streets without cross streets or other physical or visual "breaks" shall be avoided. Loop streets and interlocking streets with short block lengths (400-600 linear feet) are strongly encouraged. Block lengths should not exceed 800 feet. In areas where cross streets are impractical because of the existing terrain, through-block pedestrian connections should be provided. ~~Such connections shall be a minimum of 20 feet in width, and stairs~~ **Stairs** may be used to avoid excessive grading.
  3. To facilitate multiple means of egress and ingress for emergency and fire vehicles, long cul-de-sacs shall be minimized and should not exceed 600 feet in length. Where longer cul-de-sacs are unavoidable because of the existing terrain, a minimum 20-foot wide right-of-way for emergency vehicle access (E.V.A.) shall be provided at an appropriate location. Decorative gates shall be installed to restrict access by private vehicles.
  4. Street connections between adjacent properties and development parcels shall be accommodated. ~~A local street~~ **An EVA** connection shall be provided between the Bailey and Hayward 1900 properties ~~as shown on the Conceptual Circulation Plan.~~
  5. Pedestrian inter-connections between residential areas, open space, and public facilities shall be maximized.
  6. ~~At the edge of open space, single loaded streets (lots fronting on one side only) should be utilized~~ **In connection with development of the Hayward 1900 property and the Catholic Church property, at the perimeter of the development, single family lots shall be separated from undisturbed open space, to the extent possible. Along the primary entry/ridge drive, a minimum 1500 linear feet of roadway shall directly abut open space, uninterrupted by any single family lots, by the greens and fairways of the integrated golf course. View points shall be provided which can be enjoyed by visitors and guests of the development.**
  7. The primary entrance to the community shall be located directly opposite the terminus of Hayward Boulevard.
- ~~Additionally, a minimum of two secondary entrances shall be provided along Hayward Boulevard and Fairview Avenue.~~

**WALPERT RIDGE  
SPECIFIC PLAN**

CITY OF HAYWARD, CALIFORNIA

THE SWA GROUP  
Land Planner

REIMER ASSOCIATES  
Engineer

VIA  
Visual Impact Analysis

WILDLAND RESOURCE MANAGEMENT  
Fire Management

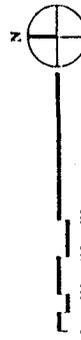
**LEGEND**

See Figures 9  
for Street Cross-Sections

Primary Street

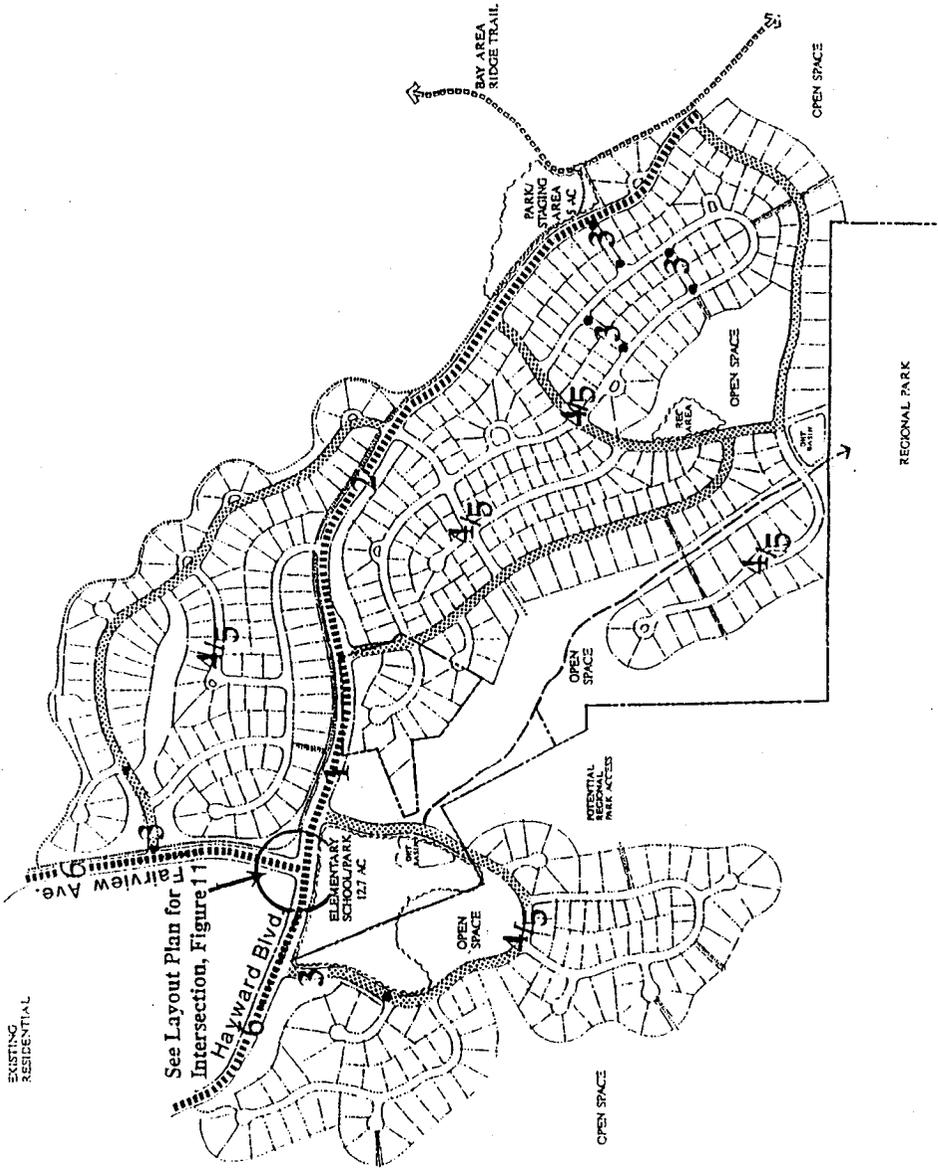
Secondary Street

Minor Street



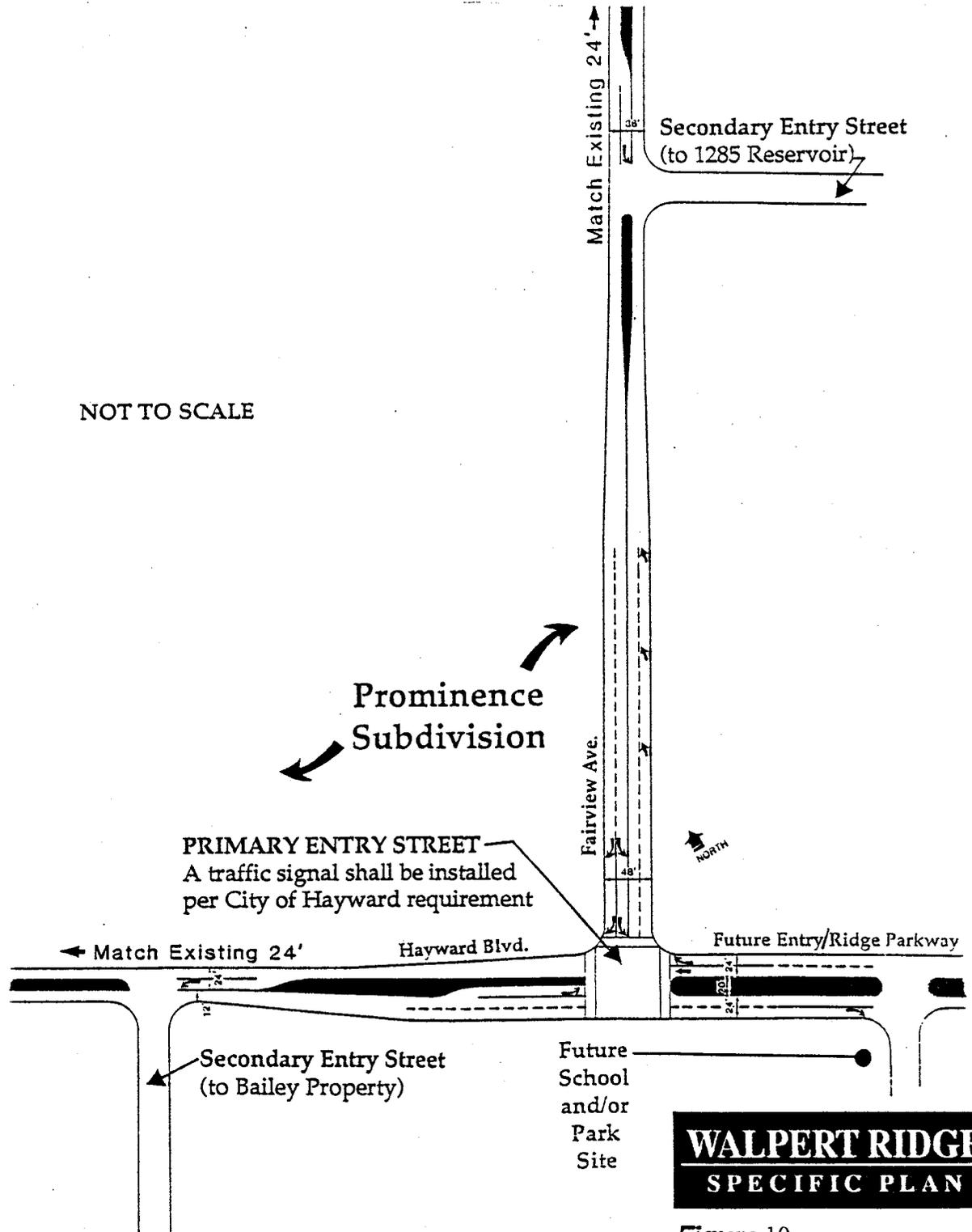
MARCH, 1995

Figure 8  
Conceptual  
Circulation Plan





Walpert Ridge Specific Plan  
Design Standards and Guidelines



**B. Street Standards**

1. Streets shall conform to the cross-section standards shown in Figure 10, page 54.

2. The Hayward Boulevard and Fairview Avenue property frontages shall be improved in accordance with Figure ~~11~~10, page 45 or as modified in connection with approval of the Blue Rock Country Club.

~~3.~~ 3. Single-loaded streets (lots fronting on one side only), Cross-section 4a with one parking lane only shall be used to reduce paving. Where lots will front on both sides of the street, this cross-section may be allowed if: 1) at least one on-street parking space will be available within 150 feet of each lot; and 2) a minimum of three on-site parking spaces will be provided on each lot, located behind required front and side street yard setbacks.

4. Streets located entirely within or serving a gated private development may be private.

5. Street grades should not exceed 12 percent except that a maximum grade of 15 percent may be allowed for short segments where a steeper grade cannot be avoided.

~~5~~ 6. Design criteria and geometrics for local streets within the community shall be based on a design speed of 25 miles per hour, except that the design speed for the entry/ridge drive shall be based on 35 miles per hour.

~~6~~ 7. Traffic calming measures shall be encouraged for local streets, including providing regular cross streets, providing ~~planter strips and~~ street trees, and allowing for smaller horizontal and vertical curves while maintaining traffic safety. Horizontal curves may be reduced to 150 feet radius for minor loop streets.

~~7~~ 8. Corner radii for local street intersections, not including intersections along the entry/ridge drive, shall not exceed 20 feet to encourage slower vehicular turning movements and to maximize pedestrian safety and comfort.

~~8~~ 9. Streets should generally intersect at a right angle (90 degrees). However, flexibility in applying this standard should be allowed provided that streets intersect at a minimum 70 degree angle and a minimum vertical and horizontal sight distance of 100 feet is maintained.

10. All streets shall provide planter strips between the sidewalk and curb, minimum 10 feet wide along Fairview Avenue, Hayward Boulevard, and the entry/ridge drive and minimum 5.5 feet wide along all other residential streets. Planter strips may exhibit a maximum cross slope of 15 percent and may be deleted at locations where excessive grading would be required. Planter strips shall be maintained by the homeowner or the homeowners association.

~~10~~ 11. Consideration should be given to naming streets after the families who were the early ranchers or settlers in the Hayward area.

**C. Street Lighting**

1. In order to minimize night time visual impacts from hillside development, street lighting should comply with the City's "rural" lighting standards (SD-120), which call for installing at intersections, traffic conflict locations, and other locations for safety and security as determined by the City Council.

2. Street lighting, where it exists, should only illuminate ~~the roadway and~~ roadway intersections and, where necessary for safety purposes, any adjacent pedestrian walkways or paths.

3. With the approval of the City Council, an alternative decorative streetlight may be allowed for the community.

~~Fixtures~~ 4. Street light fixtures should exhibit a consistent design and produce a minimum amount of glare and spillover into adjacent residential lots. Maintenance of an alternative streetlight may be included in a community landscape and lighting assessment district.

~~4~~ 5. In pedestrian areas, pedestrian-scale light poles (not over 12 feet) or bollards should be used rather than tall, area-lighting fixtures.

~~5. Lamps~~ 6. Lamp types shall be color corrected high -pressure sodium only.

**D. Pedestrian Movement**

1. Pedestrian movement between and within sub-neighborhoods shall be facilitated and encouraged throughout the community.

2. ~~Sidewalks~~ With the exception of the Hayward 1900 property and the Catholic Church property, sidewalks shall generally be provided on both sides of a local street, separated from the curb by a planter strip. Sidewalks may be deleted from one side of the street for single-loaded streets and at locations where significant grading would otherwise be required.

3. A continuous multi-use path consisting of a pedestrian path, equestrian trail, and a bikepath shall be provided along the property frontage of Hayward Boulevard and Fairview Avenue and along the entry/ridge drive.

4. All development areas shall provide continuous pedestrian path/sidewalk connections to adjacent residential areas, the school site, the park sites, and the adjacent open space trail system.

5. Through-block pedestrian connections ~~shall~~ should be provided wherever cross streets are impractical, and where such connections ~~are necessary to provide~~ would be advantageous in providing logical, direct connections to the school, parks, adjacent open space or neighborhoods separated by slope areas.

**E. Transit**

1. A bus stop with a shelter shall be provided in the vicinity of the Hayward Boulevard/Fairview Avenue intersection. The design shall be approved by the City Council, with maintenance responsibility assigned to the homeowners association.

**Neighborhood Design**

**A. Lot Layout**

1. Residential uses abutting Hayward Boulevard and Fairview Avenue shall be set back a minimum of 50 feet (measured from edge of roadway to private lot lines) to provide a continuous landscape/open space buffer.
2. All residential lots shall be accessed from within the development areas. No residential lots shall front directly on Hayward Boulevard ~~or Fairview Avenue~~.
3. No residential lots shall be located within the P.G. & E easement which crosses the Hayward 1900 property.
4. Logical "sub-neighborhoods" should be created within the community through the layout of the street system and lots. The provision of a centrally-located mini-park or focal point should also be encouraged within each sub-neighborhood, which should be maintained by the homeowners' association.
5. ~~Except for the first portion of the entry/ridge drive (approximately one-half mile), dwellings should front onto streets. Lots which back onto street frontages should be avoided to minimize the need for long masonry walls or wood fences along a street.~~  
**Residential development may consist of padded lots.**
6. ~~Larger lots (sloped or limited padded lots) should generally be located at the perimeter of the community adjacent to open space and on the steeper portions of the site. Padded lots should be located on the gentler portions of the site and at areas where the impact of grading will be less severe. (Refer to the Grading and Lot Design guidelines.)~~
7. ~~Residential development should include a substantial mixture of padded, limited padded, and sloped lots and a range of lot sizes as generally depicted on the Land Use Plan and as defined in the Lot Design guidelines.~~

- § 6. Lot lines should be configured with consideration of preserving view lines for the dwellings that are anticipated to be constructed on the lots.

**B. Lot Design for Properties Except Hayward 1900 Property and the Catholic Church Property.**

(refer to Figure ~~4211~~ page ~~61~~) 51)

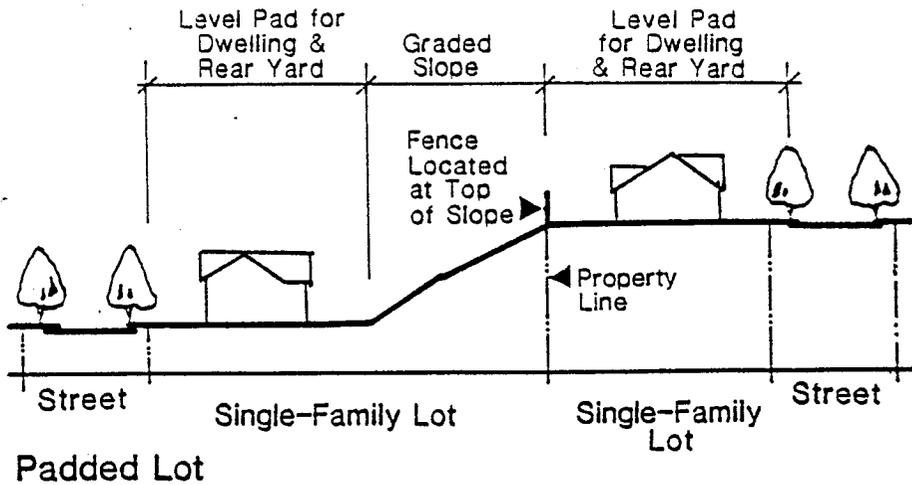
1. The standards on pages ~~62-64~~ 52 - 57 shall apply to single-family lots proposed within the Walpert Ridge area. Exceptions from these standards may be allowed by the City Council on a case-by-case basis based on specific site conditions, grading constraints, or design considerations.
2. Padded Lot
  - a. Definition: A lot that is fully graded to create a large single-level flat pad for the dwelling and outdoor living space.
  - b. Minimum lot size: 9,000 square feet  
Exception: for back to back lots, the uphill lot can be a minimum of 7,000 square feet if the average of the two back to back lots is at least 9,000 square feet.
  - c. Minimum lot frontage: 80 feet  
(measured at front yard setback)
  - d. Minimum cul-de-sac frontage: 60 feet  
(measured at front yard setback)
  - e. Minimum front & side street yard: 20 feet
  - f. Minimum side yard: 10 feet  
Exception: Category I lots shall provide a minimum separation of 30 feet between dwellings.<sup>3</sup>
  - g. Minimum rear yard: 30 feet
  - h. Maximum lot coverage:  
Structures 35 percent  
Including impervious ~~paving~~ paving 50 percent  
Exception: 60 percent for lots under 9,000 square feet
3. Limited Padded Lot
  - a. Definition: A lot that is partially padded to create a level area for the dwelling, driveway, and immediate area surrounding the dwelling only.

- b. Minimum lot size: 10,000 square feet  
Exception: for back to back lots, the uphill lot can be a minimum of 9,000 square feet if the average of the two back to back lots is at least 10,000 square feet.
- c. Minimum lot frontage: 80 feet  
(measured at front yard setback)
- d. Minimum cul-de-sac frontage: 60 feet  
(measured at front yard setback)
- e. Minimum front & side street yard: 20 feet
- f. Minimum side yard: 10 feet  
Exception: Category I lots shall provide a minimum separation of 30 feet between dwellings.<sup>3</sup>
- g. Minimum rear yard: 30 feet
- h. Maximum lot coverage:  
Structures 35 percent  
Including impervious paving 50 percent

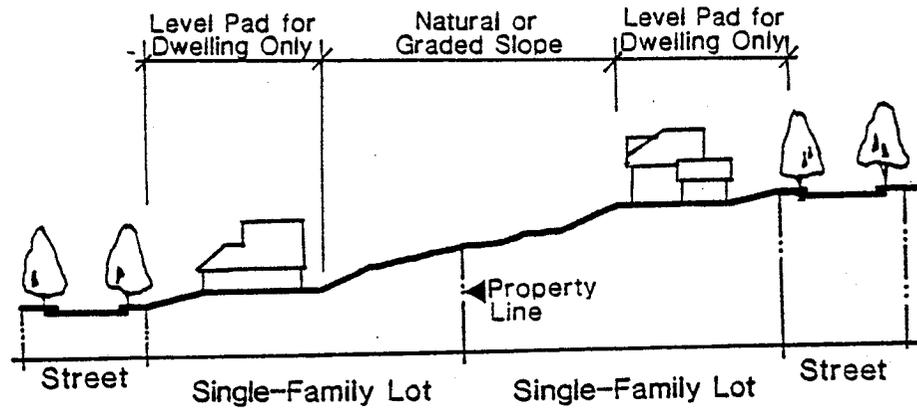
4. Sloped Lot

- a. Definition: A lot that is minimally graded to conform to the existing slope. Dwellings typically constructed with pier and grade beam or stepped foundations which follow the slope.
- b. Minimum lot size: 20,000 square feet
- c. Minimum lot frontage: 100 feet  
(measured at front yard setback)
- d. Minimum cul-de-sac frontage: 70 feet  
(measured at front yard setback)
- e. Minimum front & side street yard: 25 feet
- f. Minimum side yard: 15 feet
- g. Minimum rear yard: 50 feet

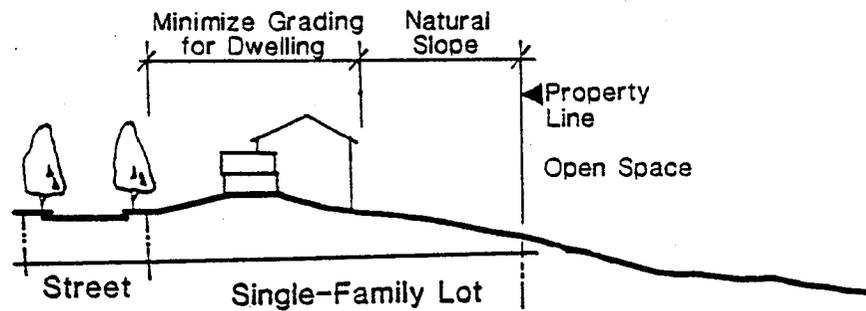
Walpert Ridge Specific Plan  
 Design Standards & Guidelines



Padded Lot



Limited Padded Lot



Sloped Lot

**WALPERT RIDGE**  
**SPECIFIC PLAN**

Figure 11  
 Lot Types

- h. Maximum lot coverage:
- |  |            |
|--|------------|
| Structures                               | 25 percent |
| Including impervious paving <sup>1</sup> | 40 percent |

Notes:

- <sup>1</sup> Impervious Paving - includes the dwelling, covered accessory structures, swimming pool, and any paving which substantially restricts the penetration of water into the soil, including (but not limited to) concrete, asphaltic cement, and brick or pavers set in concrete.
- <sup>2</sup> Accessory Structures - shall comply with applicable zoning standards for RS, Single-family Residential District.
- <sup>3</sup> Refer to Fire Management Plan (Figure 17, page 81) for a designation of Category I lots.

**C. Lot Design for the Hayward 1900 property and the Catholic Church property shall meet or exceed all City standards for lot dimensions and be developed during the precise plan process and shall be reflected in specific Design Guidelines reviewed and approved by the City prior to approval of a precise plan for the Blue Rock Country Club.**

**D. Architecture**

1. Dwellings and structures should be designed to comply with the Hillside Design and Urban/Wildland Interface Guidelines.
2. Dwellings should be sited, where feasible, to preserve existing lot features, such as significant trees and rock outcroppings.
3. Variable building setbacks should be established along a street, particularly long straight stretches, to avoid the monotony of a uniform setback.
4. The height of dwellings and structures shall comply with the standards in the Hayward Zoning Ordinance that apply to the RS, Single-family Residential District, except for recreational facility buildings where the height will be reviewed as part of the Precise Plan.

~~5. On sloping~~ 5. On sloping, contour graded lots, dwellings should be set into the slope to reduce the height and bulk of the structure and to avoid skirt walls that exceed eight feet on the downhill elevation, measured from the adjacent finish grade to the first floor elevation.

6. A consistent architectural design, including the coordination of building materials, colors, and architectural detailing, shall be proposed for each sub-neighborhood where dwelling units will be constructed by one builder. Sufficient variations in floor plans, building elevations, windows, entries, rooflines, and colors and materials shall be also be provided.
7. Entries should be highlighted with a covered entry, porch, or veranda.
8. Large visible wall surfaces, particularly downhill elevations, should be divided into smaller components by stepping back the second level, introducing wall and window offsets, and/or adding architectural detailing to create shadow patterns. However, large cantilevered decks or second story overhangs should be avoided. **Strong shadow patterns created by the careful variation of planes in building elevations are desired.**
- ~~9. Pitched or gabled roofs which follow the slope should be encouraged which do not exceed a 8:12 pitch (two feet vertical for every three feet horizontal)~~
- 9. Gabled and pitched roof forms are encouraged.** Long unbroken rooflines should be avoided.
10. Whenever possible, windows ~~and elevated,~~ decks and patios should be placed to minimize impacting the privacy of adjacent residences.
11. Colors and materials for dwellings and structures should blend with the materials, vegetation, colors, and values found in the natural setting. Bright or harshly contrasting colors for walls and trim should be avoided. Highly reflective roof and wall materials shall be prohibited.
12. Any commercial or recreational structures that may be approved within the Urban Development Area shall be designed to be compatible with the residential community in terms of scale, architectural design, materials and colors.

**D E. Garages and Driveways**

1. Front facades should be designed to de-emphasize garage doors facing the street, and should emphasize entries, windows, and living areas oriented toward the street.  
  
Garage doors shall occupy a maximum of 50 percent of the width of the building elevation facing the street.
2. Garage doors shall be set back a minimum of ~~5~~ **three (3)** feet from the front facade of the dwelling or shall be designed to reduce their ~~stark~~ and dominant appearance.
3. Individual garage doors for each parking bay should be encouraged to reduce the visual scale of the garage.

4. Driveway aprons for single-family lots shall not exceed ~~20~~ 24 feet in width, not including driveway flares.
- ~~5.~~ Joint driveways serving several lots should be encouraged to reduce grading and paving, if feasible.

#### **E F. Fences and Walls**

1. A common wall design shall be developed for all walls or fences which abut public rights-of-way. Fences and walls shall reflect a quality design with the use of natural and sturdy materials that blend in well with the hillside setting. Use of native rock material for walls is encouraged.
2. Solid fences or walls facing streets shall be located to provide the following minimum landscape setback between the fence/wall and the sidewalk (or curb where sidewalk deleted): 30 feet along Fairview Avenue and Hayward Boulevard, 20 feet along the entry/ridge drive, and 10 feet at all other locations.
3. Long continuous fences or walls located parallel to a public street should be avoided, but where allowed, should exhibit variations in setback and height.
4. For lots that abut open space and lots with large slopes, solid privacy fences for side and rear yards should be limited to the flat padded area of the lot.
5. ~~Solid~~ Where solid privacy fences ~~shall~~ are proposed, these fences should be located at the top of manufactured slopes, not in the middle of ~~transition~~ transitional slope areas.
6. All property line fencing located adjacent to open space areas and located on large visible slopes should be view-type fencing, consisting of welded wire mesh with wood framing, wrought iron, or equivalent. Chain-link fencing shall not be allowed for residential lots.

#### **F G. Landscaping**

1. For each development, a comprehensive landscape master plan shall be developed which covers the following items:
  - a. Conceptual plans for entry, streetscape and street tree planting;
  - b. Landscaping of the urban/wildland interface zone between residential lots and natural open space;
  - c. Landscaping of common open space and recreation areas within the development, if applicable;

- d. Landscaping of large graded slopes, including erosion control;
  - e. Standards and guidelines for private front yard landscaping, with emphasis on water conservation design principles;
  - f. Standards and guidelines for landscaping private rear yards located at the urban/wildland interface;
  - g. List of drought-tolerant and fire-resistant plants that will adapt well to the climatic and soil conditions on the site.
  - h. Landscape maintenance guidelines for common areas.
2. For each development, a detailed survey shall be prepared by a certified arborist covering all trees 6 inches or larger in trunk diameter that are located within or near the limits of grading. The value and condition of the trees shall be documented. For trees authorized for removal, replacement trees shall be provided based on the value of the removed trees. For trees to be preserved, tree protection and preservation measures shall be proposed, including measures to ensure proper drainage.
  3. Street trees shall be planted within the planter strips along all streets in the community. Trees should be moderate to large, drought-tolerant, low maintenance canopy trees that relate to width of the street. Smaller, ornamental trees may be used in medians, at entries, or other accent areas to supplement the street trees. A single tree species should be designated for each street or logical segment of a street, while ensuring that a variety of street trees will be planted throughout the community.
  4. The entry points into the community shall be attractively designed and landscaped to create an distinctive gateway statement.
  5. Large graded slopes shall be informally landscaped to mitigate the appearance of these slopes, particularly where located abutting open space or roadways. Plants should be clustered in man-made drainage swales to simulate the natural setting. (~~See grading guidelines.~~) Sensitivity should be given to preserving view corridors for adjacent dwellings.
  6. Solid fences and walls facing streets and public areas shall be buffered with shrubs and vines to discourage graffiti.
  7. Landscaping should emphasize indigenous plants that can survive without regular irrigation after establishment. Use of native plants that are found in the surrounding oak woodland, grassland, and riparian plant communities is encouraged, including but not limited to *Quercus agrifolia* (Coast Live Oak), *Aesculus californicus* (California Buckeye), *Acer macrophyllum* (Big-leaf Maple), *Sambucus mexicanus* (Blue Elderberry), *Alnus* sp. (Alder), *Rhamnus californica* (Coffeeberry), and *Heteromeles arbutifolia* (Toyon).

8. Project landscape plans shall include planting to screen from public view water tanks and other public and private above-ground infrastructure improvements.

#### **G H. Signing**

1. For each development, a comprehensive sign program shall be developed that promotes attractive, distinctive, and consistent signing.
2. Use of native rock, wood, and earth-tone colors should be encouraged to enhance the appearance of the community and to blend with the natural surroundings.
3. Internally-illuminated signs shall not be allowed, (except for traffic control). Spot lighting should be used where night lighting is desired.

#### **Grading**

##### **A. Conceptual Grading Plan**

1. Proposed grading plans for individual projects should be reviewed for consistency with the Conceptual Grading Plan (~~Figure 13, page 71~~) and the following guidelines.
2. To the extent feasible, grading of development areas should conform to the City's Hillside Design and Urban/Wildland Interface Guidelines. More extensive grading in localized areas may be allowed where such grading is necessary to provide adequate street grades, to repair landslide areas, or to provide safe access to individual lots. The creation of large uniform stepped terraces should be avoided. Variations in the manufactured landform should be encouraged for compatibility with the natural terrain.
3. The maximum vertical height of cut or fill slopes at the rear of back to back lots should not exceed ~~35~~ 25 feet.
4. Grading shall not encroach into the dripline of the oak woodland located at the edge of the defined Urban Development Area.

##### **B. Landform Grading Techniques (See Figure 1412 page 7258)**

1. For large highly visible man-made slopes, particularly slopes visible from Hayward Boulevard, Fairview Avenue, Garin Regional Park, the Bay Area Ridge Trail, and surrounding residential areas, "landform grading techniques" shall be utilized to create slope areas that appear as natural, stable landforms. These techniques include:
  - a. Creating variable slope grades, undulating slopes, and swales to minimize the appearance of an engineered slope with a uniform grade;
  - b. Designing drainage devices that blend with the terrain, such as: ditches lined

with native rocks, bermed or modified channels, or channels constructed with colored concrete;

- c. Using variable slopes and a curvilinear alignment for surface drains, and provision of downdrains in swale flow lines;

~~Figure 13: Conceptual Grading Plan~~

- d. Obscuring the regularity of slopes through "landform landscaping": creating horizontal relief through the informal grouping of plants and creating vertical relief by varying the height of plant materials;
- e. Generously rounding the top and bottom of slopes for a smooth transition to padded lots or natural terrain; and.
- f. Where rock outcroppings cannot be preserved, incorporating the displaced boulders into the manufactured slope to create a natural appearance.

### C. Lot Grading

1. ~~In areas that generally exhibit slopes of 15 percent or less, fully padded lots (9,000 to 10,000 square feet) may be allowed to maximize the amount of flat usable lot area.~~ **Padded lots may be allowed for all lots, except that contour lots in certain areas are encouraged as hereinafter provided.**
2. In areas that generally exhibit slopes from 15 to 25 percent, limited padded lots (10,000 to 20,000 square feet), where padding is limited to the area for the dwelling, driveway, and the immediate area surrounding the dwelling, should be encouraged. The vertical height of manufactured slopes **generally** should not exceed 25 feet where located between back-to-back lots or adjacent to open space, and should not exceed 12 feet where located along sideyards.
3. Where development is allowed on slopes exceeding 25 percent and for lots abutting the surrounding open space, **where feasible**, larger sloped lots (minimum 20,000 square feet) should be encouraged. **Dwellings Where larger sloped lots are utilized, dwellings generally** should exhibit stepped or pier and grade beam foundations to limit grading and alteration of the natural terrain. Grading to create large flat pads should ~~not be allowed~~ **discouraged**. Outdoor living space should consist of elevated decks or patios that are integrated into the design of the dwellings.

### On-Site Infrastructure

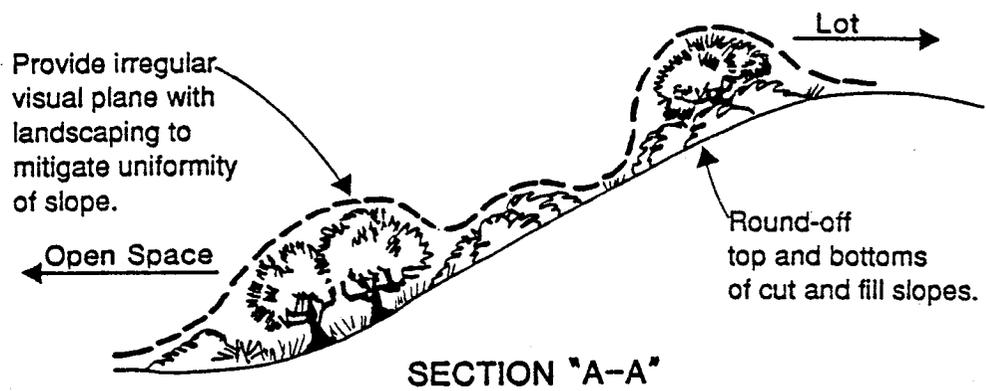
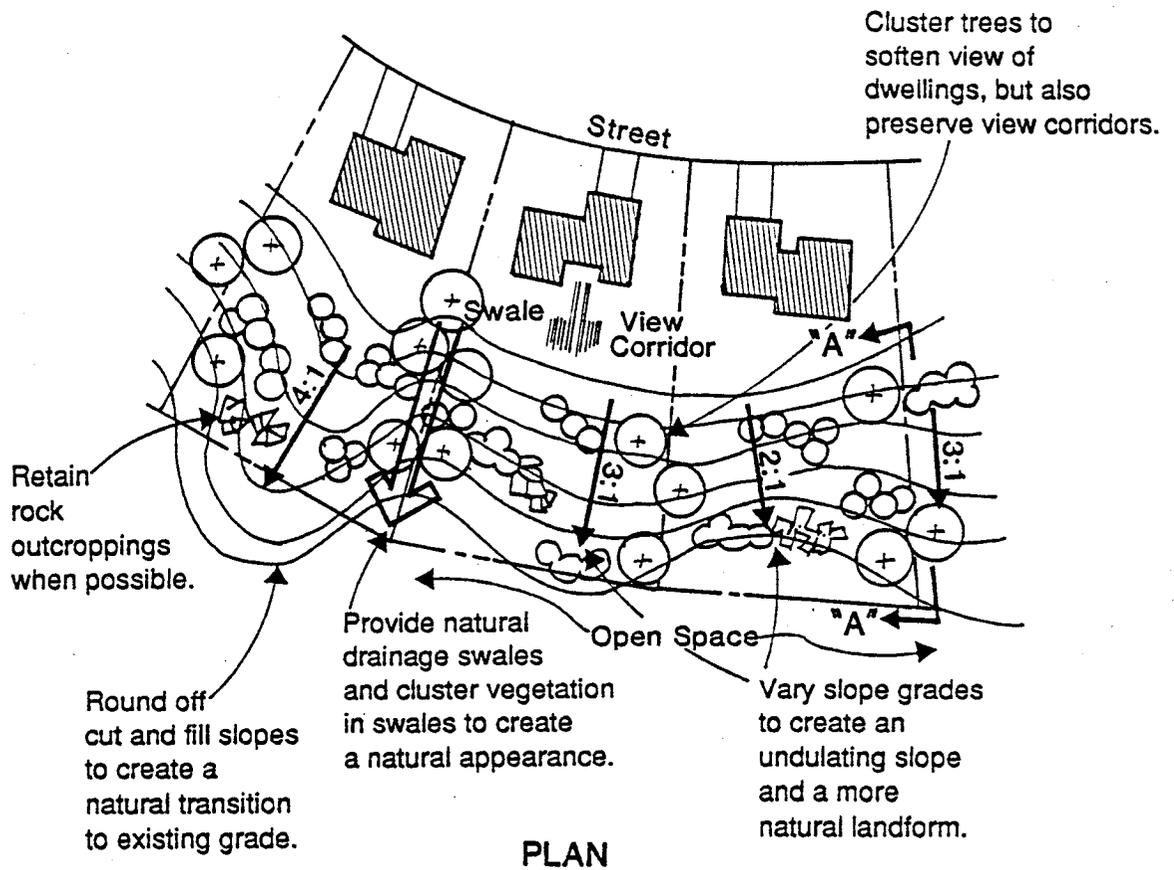
#### A. Water System

1. Unless otherwise directed by the Public Works Director, estimates for water service demand shall be based on the following assumptions, as stated in the Program FEIR:

Estate Lot

1,100 gallons per day

Walpert Ridge Specific Plan  
 Design Standards and Guidelines



**Note:**  
 Also refer to  
*Fuel Management  
 Guidelines* regarding  
 landscaping at  
 urban/wildland  
 interface zone.

**WALPERT RIDGE  
 SPECIFIC PLAN**

**Figure 12**  
 Landform  
 Grading Techniques

Standard Single-family Lot	400 gallons per day
Elementary School	1,339 gallons per acre per day
Local Park	1,785 gallons per acre per day

2. Based on the land uses shown on the Land Use Plan and the above criteria, two water tanks with total capacity of approximately one million gallons will be required on the site at an elevation of approximately ~~1545~~ 1490 feet. The two tanks will allow continuation of service if one tank is out for mechanical or maintenance purposes.
3. Booster pumps shall be provided at the 1285 reservoir site to fill the new tanks. The booster pumps shall be sized to fill one tank within 12 hours.
4. The water system, storage tanks, and pumping facilities shall be equipped with remote telemetry of operation and alarm systems which comply with City specifications.

**B. Sanitary Sewer System**

1. Unless otherwise directed by the Public Works Director, estimates of sanitary sewer demand shall be based on the following wastewater generation rates, as stated in the Program FEIR:

Estate Lot	500 gallons per day
Standard Single-family Lot	225 gallons per day
Elementary School	600 gallons per acre per day
Local Park	600 gallons per acre per day

2. New on-site service shall consist of gravity service zones that are served by small pump stations to convey the flows to the new off-site gravity sewer line located in Hayward Boulevard. (Refer to Conceptual Water and Sanitary Sewer Plan, Figure 15, page 76) Because each pump station will serve a small tributary area, facilities should be sized using a peaking factor of at least three times the calculated average wastewater flow.
3. Pump stations shall be duplex type (two pumps) to provide back-up capacity. Each station shall be equipped with remote telemetry of operation and alarm systems complying with City requirements. Underground pump stations are preferred with wet and dry well type construction. Holding tanks shall have a minimum of five days of storage capacity. Larger stations shall be provided with a secondary, emergency power source, as directed by the Public Works Director. This could consist of portable generation units, permanent emergency generation units, or a second source of electric

power.

4. Where single-family lots slope downhill from the fronting street sewer, service should be accomplished by carrying the house lateral out the back or side of the parcel and downhill to the nearest adjacent street and collector sewer. Where this would require crossing another parcel, or where a downhill collector is not available, private injector pumps will be required to pump wastewater into the sewer line located in the uphill fronting street. Injector pump systems shall be designed to meet Building Code and County Health Department requirements. Based on the grading concept, lots or areas that may need to be serviced with injector pumps are indicated on the Conceptual Water and Sanitary Sewer Plan.

**C. Storm Drainage**

1. Dry Creek stormwater capacity improvements were completed in 1990 to increase flow capacity from Mission Boulevard downstream to Railroad Avenue in the City of Union City. These improvements were engineered in anticipation of future development on Walpert Ridge.
2. The site should be graded to direct drainage into existing natural swales and channels. (Refer to Conceptual Site Drainage Plan, Figure ~~4615~~ page ~~77~~ 61.) This will result in smaller drainage areas and smaller flow rates than if the site was graded to direct all runoff to several major outfalls. The smaller drainage areas and flow rates will less likely cause undesirable erosion of existing swales and channels located downstream from the development and will result in shorter pipe lengths and fewer drainage inlets.

**WALPERT RIDGE**  
**SPECIFIC PLAN**  
CITY OF HAYWARD, CALIFORNIA

THE SWA GROUP  
Land Planner

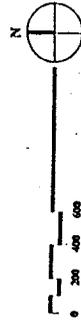
REIMER ASSOCIATES  
Engineer

VIA  
Visual Impact Analysis

WILDLAND RESOURCE MANAGEMENT  
Fire Management

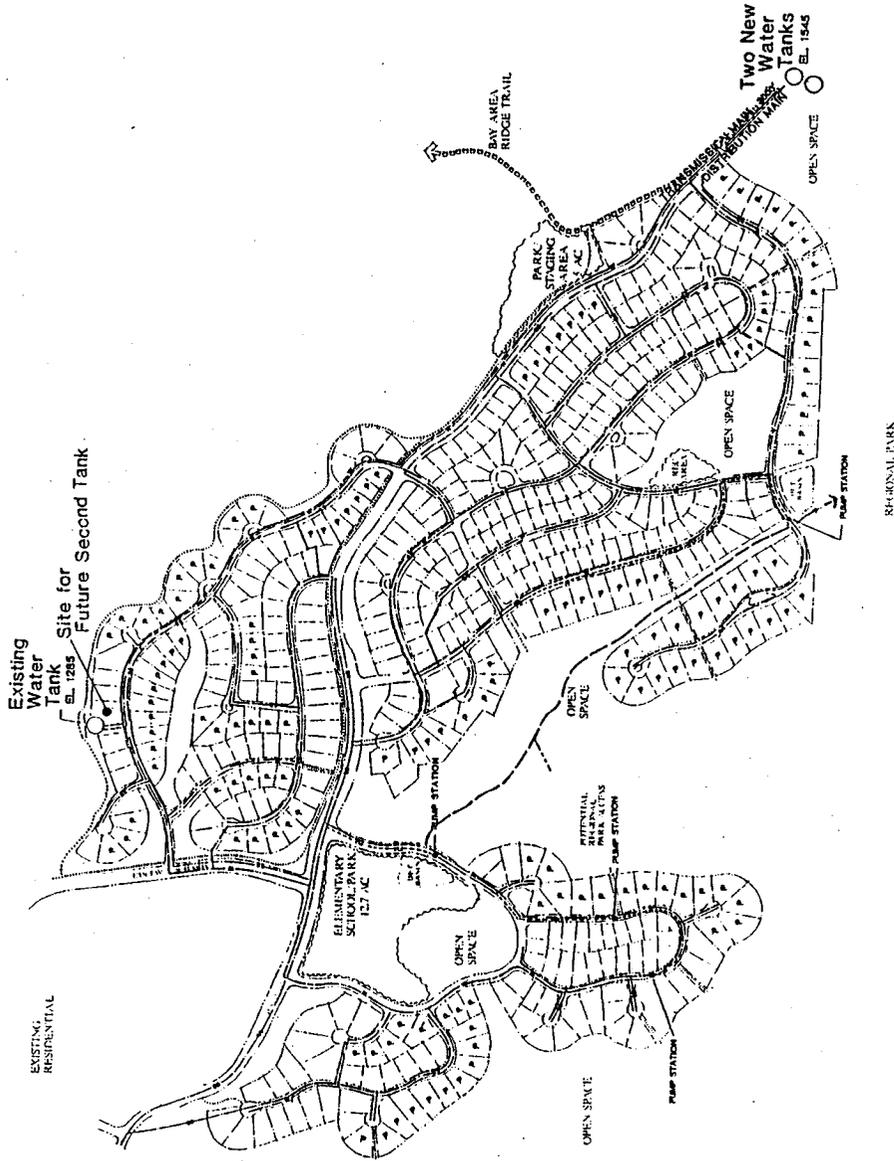
**LEGEND**

- SEWERS PUMP STATION
- GRAVITY SEWER
- - - FORCE MAIN
- P POSSIBLE PRIVATE INJECTOR PUMPS
- WATER LINE



OCTOBER 17, 1994

Figure 13  
Conceptual Water  
and Sanitary Sewer Plan



**WALPERT RIDGE**  
**SPECIFIC PLAN**  
CITY OF HAYWARD, CALIFORNIA

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Land Planner  
**REIMER ASSOCIATES**  
Engineer  
VIA  
Visual Impact Analysis  
**WILDLAND RESOURCE MANAGEMENT**  
Fire Management

**LEGEND**

- 1200 — CONTOUR LINE
- 40 — STORM DRAIN LINE
- CATCH BASIN
- DETENTION BASIN
- STORM DRAINAGE AREA

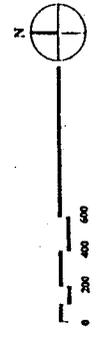
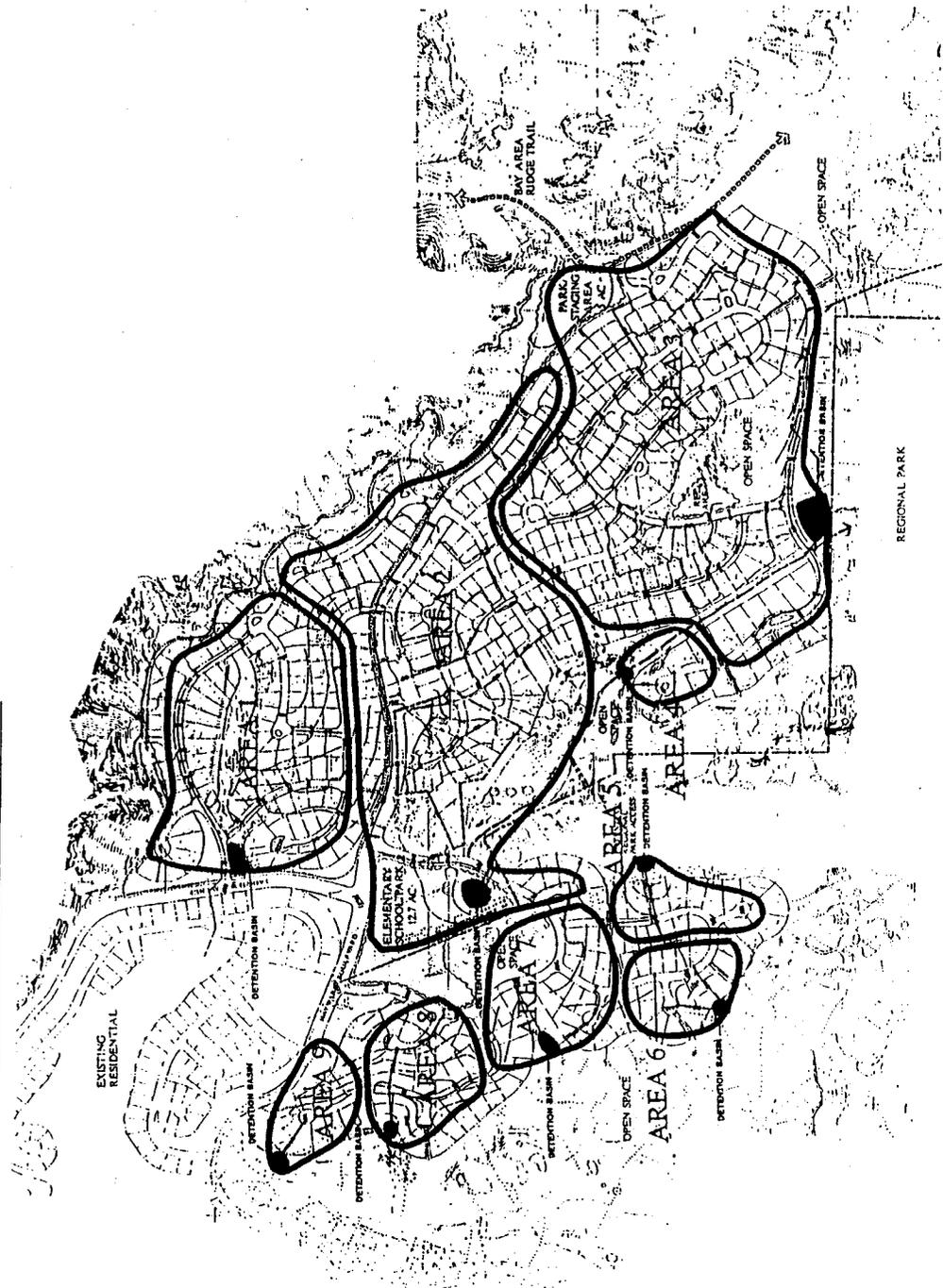


Figure 14  
Conceptual  
Site Drainage Plan



3. Drainage piping and inlet spacing should be designed to accept runoff generated by a 15-year storm occurrence.

4. NPDES Response

a. Development projects shall comply with the National Pollution Discharge Elimination System (NPDES) permit regulations of the Regional Water Quality Control Board as directed by the Public Works Director. The City's Grading and Subdivision Ordinances require adherence to ABAG erosion control procedures for construction sites. The ordinances satisfy existing NPDES construction site permitting requirements. However, site development shall also comply with any other NPDES construction site permitting requirements that will be in effect at the time permits are acquired.

b. As required by the Public Works Director, development design should include Best Management Practices which are financially feasible in terms of initial capital cost and ongoing maintenance costs, such as storm inlet stenciling and similar measures.

c. Detention basins should be included at the outlet of each drainage area to off-site swales and channels to regulate storm drainage flow, to control erosion of downstream areas, and to trap pollutants. The Conceptual Site Drainage Plan indicates possible locations for detention basins based on the preliminary grading concept. Detention basins may be incorporated into the required park and school sites subject to the approval of HARD or HUSD. Although these basins are not presently required under current NPDES standards, it is assumed that either on-site or off-site detention for NPDES response will ultimately be required. Alternatives to detention basins may be considered if future standards allow for other options.

**D. Telephone**

1. Existing facilities at Farm Hill Drive have sufficient capacity to serve the development. Service to the project site will require bringing facilities to the site from Farm Hill Drive. This new extension shall be installed in an underground conduit. If Pacific Bell has converted to fiber optics prior to development of the site, the extension from Farm Hill Drive must also be fiber optics.

2. Land shall be dedicated at or near the project entrance for a "service hut". The minimum parcel size shall be 20 feet by 20 feet with street access. The hut will be provided by Pacific Bell, and shall be compatible with the architectural concept within the project.

3. Cellular phone facilities shall be designed to be visually unobtrusive.

## **E. Gas and Electric**

1. Existing gas service is available via an existing 4-inch line in Hayward Boulevard at the site. It may be necessary to increase the size of this line to 6 inches to serve the development site. This will be determined by P.G.& E. at the time a service is requested. If a line increase is required, P.G.& E. has indicated that they will assume the cost.
2. Existing electric service is available from 12 kilovolt (kV) overhead lines located on both Hayward Boulevard and Fairview Avenue. Electric service will require the addition of at least two new transformers and switches. Transformer costs are refundable, but the cost for switches are not refundable.
3. Any existing overhead service lines that directly abut the property shall be undergrounded in accordance with Section 10-3.815 of the City's Subdivision Ordinance.

## **F. Cable Television**

1. Existing facilities sized and intended for Walpert Ridge development are available in Hayward Boulevard at the entrance of the adjacent Prominence subdivision. TCI installed a splitter intended for service to the project site at the time they provided service to the Prominence subdivision. No additional off-site work is required.
2. Cable television lines should be included in the joint utility trench with gas, electric and telephone lines.

## **Fire Management**

### **A. General**

The following guidelines supplement the City's Hillside Design and Urban/Wildland Interface Guidelines. As a supplement, information that appears in the Guidelines are not repeated. Rather, items that are different from or in more detail than the Guidelines are included. **Fire mitigation plans may be prepared for individual development projects which will set forth the specific requirements for the development.**

Landscaping, construction, building location, and fuel management of the adjoining open space all influence potential ignition and potential damage of structures from wildfire. Past studies indicate that effective treatment of these four factors strongly influence the ability of a structure to survive a wildfire. Additionally, past studies regarding modes of heat transport and ignition also indicate that these factors are important considerations for minimizing the potential property loss from wildfires.

Lastly, good access within a development and to adjacent open space facilitates

emergency response and enables effective movement of residents and emergency resources.

The Conceptual Fire Management Plan (Figure 17, page 81) and the following guidelines address fuel management at the urban/wildland interface (also known as perimeter treatments), construction treatment, fuel treatment of the open space, and open space access.

Specific development projects shall incorporate the elements contained in the Fire Management Plan and the following fuel management guidelines. These guidelines consider the existing physical conditions on Walpert Ridge and the construction of single-family dwellings in accordance to this Specific Plan.

## **B. Fuel Management at Urban/Wildland Interface**

### **1. Fuel Management Zone**

- a. A fuel management zone shall be defined around the entire perimeter of the development and at other areas where dwellings will abut open space. The width of the fuel management zone, as depicted in the Fire Management Plan, is determined by the area needed to calm fire behavior and to minimize the number of embers that could drop on dwellings **located next to the zone. The width of the zone shall be keyed to the fuel type (or vegetation type) and the position of the vegetation on the slope relative to adjacent structures. All distances shall be measured horizontally, so steeper slopes will require the treatment of a larger surface area. Specific dimensions for the width of the fuel management zone are described in the following guidelines for each fuel type.**

**WALPERT RIDGE**  
**SPECIFIC PLAN**

CITY OF HAYWARD, CALIFORNIA

THE SWA GROUP  
Land Planner

REIMER ASSOCIATES  
Engineer

VIA  
Visual Impact Analysis

WILDLAND RESOURCE MANAGEMENT  
Fire Management

**LEGEND**

LOT SUMMARY

- Crown/mow grass for 30' (horizontal distance)
- Crown/mow grass for 70' (horizontal distance)
- Shaded fuel breaks for 70' (horizontal distance)
- Grass trees of branches lower than 8', remove understory shrubs and small trees
- Remove spruce brush for a distance of 100'
- Remove brush which all spruce brush should be mowed for a distance of 30' or 70'
- Create islands in shrubs for an additional 100'
- Thin and prune eucalyptus stands
- Remove all trees under 8' in diameter
- Remove all trees 8' in diameter which are 3' or less in diameter
- 30' setback from wildlands
- Category 1 house (per Hillside Guidelines)
- Access Points to Open Space

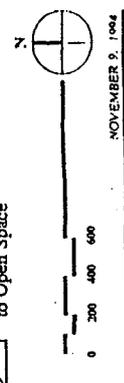
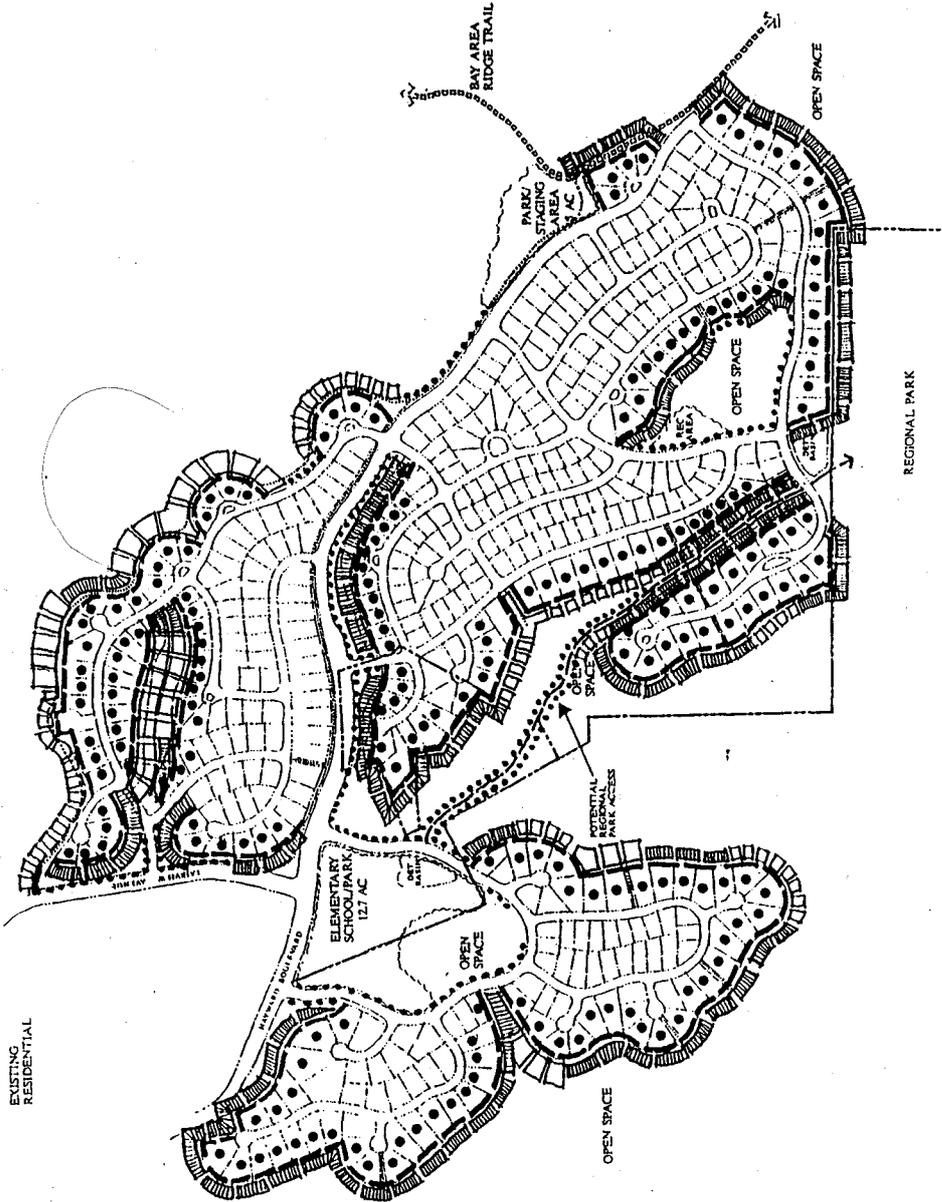


Figure 15  
Conceptual  
Fire Management Plan

~~located next to the zone. The width of the zone shall be keyed to the fuel type (or vegetation type) and the position of the vegetation on the slope relative to adjacent structures. All distances shall be measured horizontally, so steeper slopes will require the treatment of a larger surface area. Specific dimensions for the width of the fuel management zone are described in the following guidelines for each fuel type.~~

- b. Prior to the construction of any dwellings on a development site, the initial treatment of any adjoining fuel management zone shall be completed in accordance to the following guidelines and as otherwise directed by the Fire Department.

2. Firebreaks (refer to Figure 18a, page ~~85~~   )

- a. A firebreak is defined as continuous strip of land that is generally absent of fuel for the purpose of interrupting a wildfire. On Walpert Ridge, firebreaks will be grassland which has been mowed or otherwise cut to a short height. Because the grasses are annuals, the frequency of treatment shall be yearly, but may need to be more frequent if the grass regrows after being cut. To avoid soil erosion and possible vegetation and wildlife impacts, firebreaks shall not be created through mechanical discing or scraping to expose bare soil.
- b. Where grass slopes are located above adjacent structures (upslope from a dwelling), the grass shall be cut to a maximum height of four inches for a minimum width of 30 feet from private property lines. Where grass slopes are located below adjacent structures (downslope from a dwelling), a minimum width of 70 feet from property lines shall be cut to achieve the desired calming effect on fire behavior and to provide an adequate defensible space.

3. Shaded Fuelbreaks (refer to Figures 18b & 18c, pages ~~86~~    and ~~87~~   )

- a. Shaded fuelbreaks are woodland or riparian areas which have been made more fire-safe through fuel modification. On Walpert Ridge, shaded fuelbreaks will primarily be characterized by California Live Oaks (*Quercus agrifolia*) and California Bay (*Umbellularia californicum*) and associated plant species. Treatment shall not consist of removing mature trees which make up the overstory. Instead, action should be taken to remove dead material throughout the stand and focus on removing vegetation in the lower portion of the woodland or the understory.
- b. To create a defensible space and to calm fire behavior, shaded fuelbreaks shall be created that are a minimum of 70 feet in width, measured from private property lines, wherever woodland vegetation abuts single-family lots.
- c. Within the defined fuelbreak, ~~all~~ understory shrubs and small Bay trees should

be removed. All tree branches under three inches in diameter that are located within eight feet of the ground should be removed. All dead branches, regardless of where they occur in the stand, should also be removed. Debris shall be disposed of per the requirements of the Fire Department.

- d. Because of the typical dense overstory, regrowth of the understory after initial treatment is expected to be slow. Hence, repeat treatments are expected to be needed approximately once every ten years. The fuelbreak should be monitored regularly, however, with remedial work performed as needed.
- e. Leaf litter is likely to be present at many locations (instead of grass) and is acceptable. But, the leaf litter should be maintain at a depth not exceeding one inch (possibly by raking) for a minimum distance of 30 feet from private property lines.

3. Brushland (refer to Figure 18b, page ~~86~~   )

- a. The Hillside Design and Urban/Wildland Interface Guidelines proposes creating mosaic islands to calm fire behavior where brushland is isolated into clumps by selective vegetation removal. On Walpert Ridge, however, brushland is predominantly composed of Coyote Brush (*Baccharis pilularis*), which is considered a highly flammable plant or "pyrophyte" in the event of a wildfire. To create a more defensible space in the zone immediately adjacent to structures, Coyote Brush should initially be removed entirely for a minimum distance of 100 feet from private property lines. This can be accomplished with goat grazing, manual clearance, or an approved mechanical method. Removal of the shrub is not considered significant because it is an introduced species that has invaded grasslands.
- b. Where Coyote Brush has been removed, the slope shall be immediately treated with an appropriate soil erosion control measure.
- c. After the Coyote Brush is removed, a minimum 30-foot or 70-foot wide grassland strip shall be maintained in accordance to the above guidelines for firebreaks.
- d. Where Coyote Brush extends beyond the newly created firebreak, an additional 100 feet or wider strip of land should be modified by creating mosaic islands as recommended by a fire management professional. Treatment of this area is expected to be needed at five to ten-year intervals, although the area should be regularly monitored. This area should be incorporated into the fuel management program for the larger open space area.

#### 4. Eucalyptus Stands

- a. Eucalyptus stands (*Eucalyptus globulus*) are notorious for the volatile fire behavior which can occur in unmanaged stands. Eucalyptus stands should be removed if relatively insignificant or should be made more fire-safe by initiating and routinely performing a variety of treatments. All stands located in the general vicinity of development should be treated since Eucalyptus trees can produce and propel dangerous embers a considerable distance.
- b. Treatment should consist of removing all trees under eight inches in diameter and removing all branches that are three inches in diameter or less that are located within eight feet of the ground. Additionally, all dead wood in the tree canopy should be regularly removed.
- c. All leaf litter should be removed as part of the initial treatment. Thereafter, leaf litter should not be allowed to exceed a depth of one inch. Yearly treatment is expected to be needed to comply with this requirement.

#### C. **Landscaping of Common Areas**

1. Common areas within the development will consist of a combination of natural undisturbed areas and graded slopes with restored vegetation. Graded slopes may be minimally or extensively landscaped depending on the location. While these landscaped areas are often fire-safe, they can become problematic if the landscaping accumulates an excessive volume of fuel when the plants mature. All common areas should be included in a fuel management plan. Design and maintenance of common areas should consider the potential fire behavior of the mature plants. Design plans and maintenance practices for landscaped common areas should incorporate elements to minimize potential fire hazards.
2. Design plans should include a general objective to keep the maximum diameter of shrub masses at eight feet. This shrub mass may consist of one large shrub or a grouping of several smaller shrubs. Additionally, the minimum distance between shrub masses should generally be equal to the height of the shrub when mature. Trees should generally be spaced to preserve a clearance between the canopies when the trees mature. The above criteria should not be interpreted as dictating an unnatural or gridiron landscape appearance. Actual plant spacing and massing should also consider the proposed plant materials, site conditions, proximity to dwellings, and functional and aesthetic requirements.
3. Only fire-resistant and low-maintenance plants should be specified in common areas. (Refer to recommended plant list in Hillside Design and Urban/Wildland Interface Guidelines.) These plants typically exhibit: a) a small amount of dead material; b) a low volume of fuel; c) a high moisture content; d) a structure which promotes vertical separation (i.e. either low-growing or a high-branching habit; and e) a high mineral content.

4. Annual maintenance of common areas shall include removing all dead material, reducing leaf litter to a maximum depth of one inch (as needed), and removing tree branches that are less than eight feet from the ground (or one-third the tree height, whichever is less).

**D. Construction Treatment**

1. Construction of dwellings shall conform to the Hillside Design and Urban/Wildland Interface Guidelines. Garden structures and decks shall also comply with the construction guidelines.
2. All single-family lots that abut open space shall be designated as Category I lots, as generally shown on the Fire Management Plan (page ~~81~~     ). These lots shall comply with the additional standards in the Hillside Design & Urban/Wildland Interface Guidelines regarding exterior building materials and building design which are based, in part, on house survivability statistics and prevention of ignition from flames and embers.
3. On Category I lots, all dwellings shall be set back a minimum of 30 feet from property lines that abut open space. For padded lots that are located above adjacent open space, an additional setback from the top of the graded slope shall be provided as determined by the City. This additional setback is recommended to reduce convective heat transfer to the upslope house in the event of a wildfire.
4. A minimum separation of 30 feet shall also be provided between dwellings located on Category I lots to reduce the potential of house-to-house ignition. See the Blue Rock Country Club Fire Mitigation Plan for construction requirements with a 20 foot separation.

**E. Area-wide Fuel Management of Open Space**

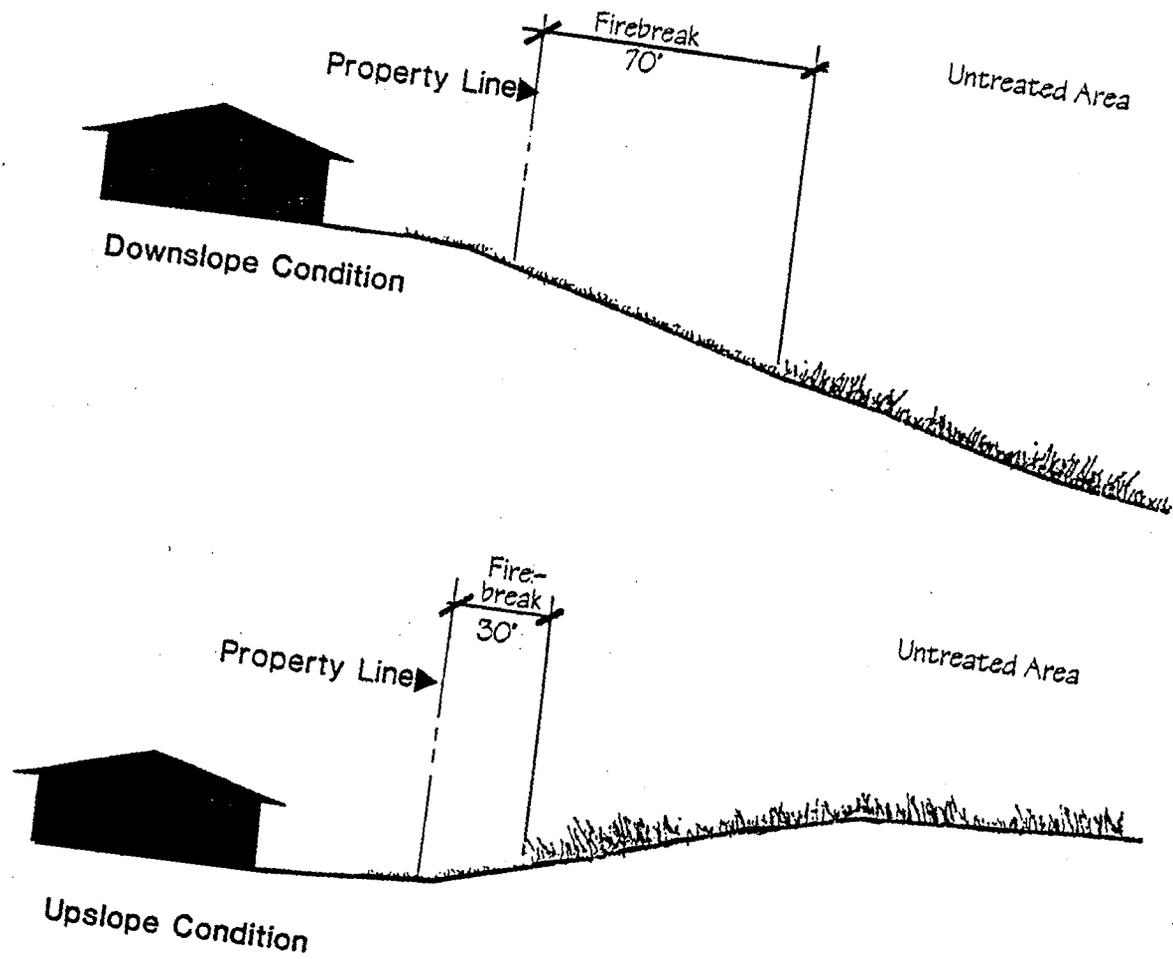
1. As part of the development approval process, a fuel management program shall be prepared for all open space located within and surrounding a project to reduce fire hazards. This program should include the open space that may be owned by a public agency or the homeowners association which extends beyond the perimeter fuel management zone. The program should, as a minimum, specify the locations where treatment is needed, suggest possible treatment methods for each location, designate responsibility for implementation, and establish a schedule for the initial and subsequent treatments.
2. Area-wide fuel treatment of the open space surrounding a project should be completed before construction of dwellings begins. As with treatment of the perimeter fuel management zone, area-wide fuel treatment should be linked to vegetation/fuel types. For example, fuel management of oak/bay woodland will be quite different from fuel management of brushland.

3. Maintenance of open space fuels should be done periodically in a mosaic pattern. Frequency will vary with vegetation/fuel type, but is expected to range from five to ten years.

**F. Access to Open Space**

1. To enhance fire safety in the Walpert Ridge community and to allow for fuel treatment, openings should be provided between perimeter lots at regular intervals to allow for access to the surrounding open space by emergency personnel and work crews. The suggested locations for access points are shown on the Fire Management Plan (page ~~81~~   ). Access points should be spaced a maximum of every 1,000 linear feet. **Refer also to the Blue Rock Country Club Fire Mitigation Plan.**
2. The minimum width of the access points should be 20 feet in order to accommodate a fire truck if needed. Yearly mowing of the grass in the accessway will be required. Additionally, landscaping of the accessway by adjacent homeowners should be prohibited. **Refer also to the Blue Rock Country Club Fire Mitigation Plan.**

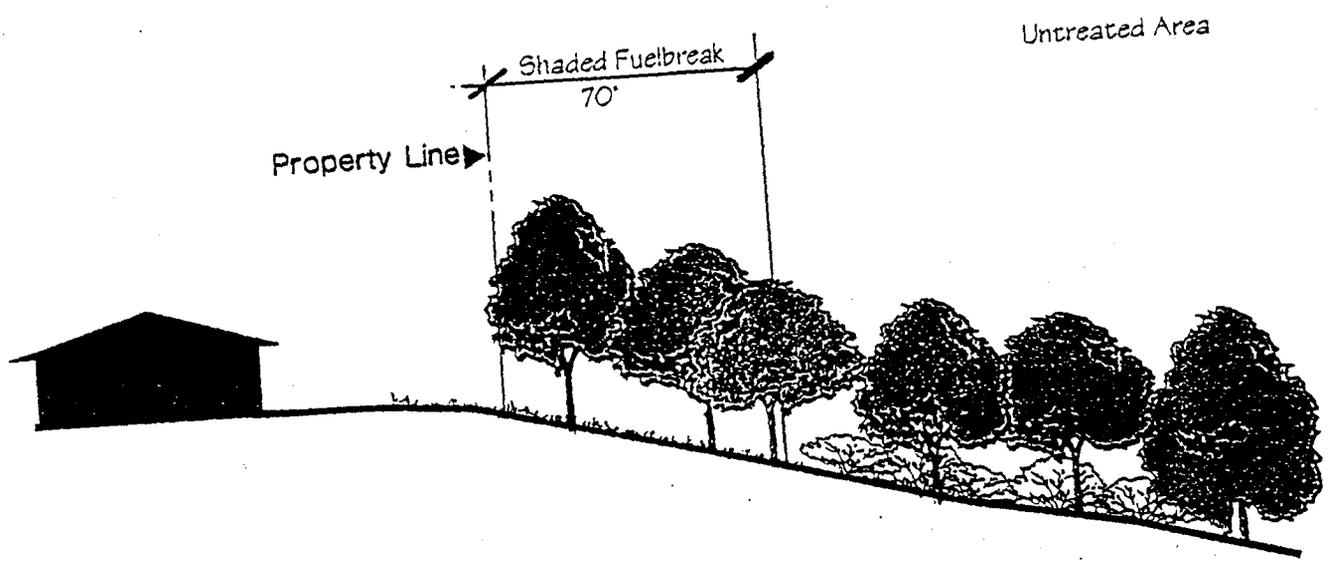
## Firebreaks in Grass



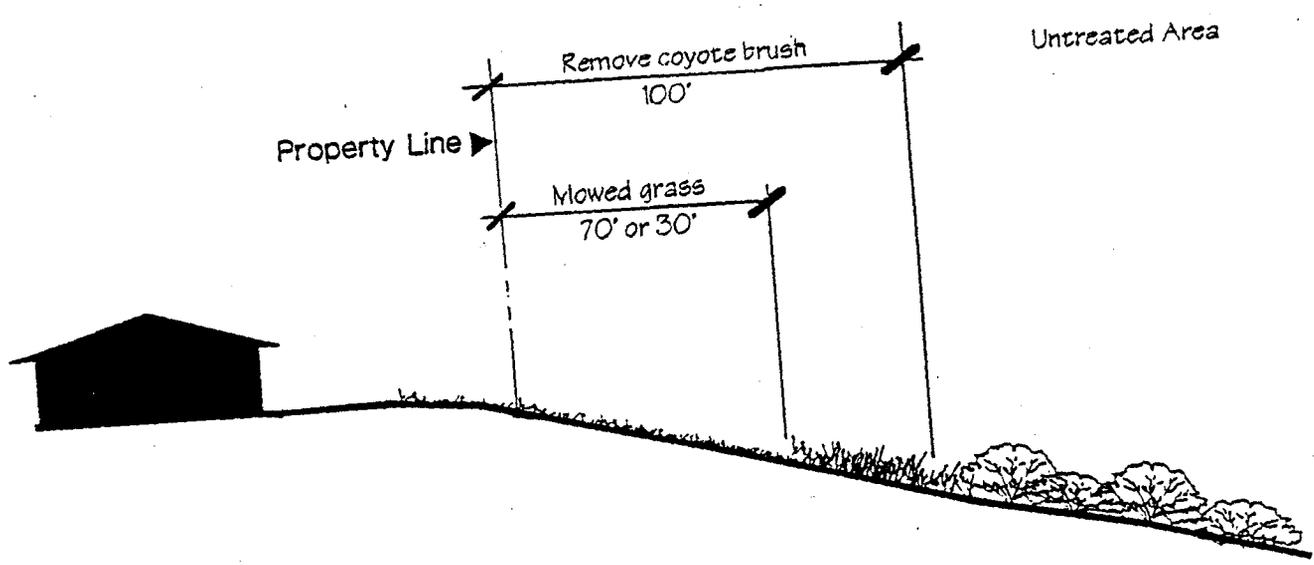
**WALPERT RIDGE  
SPECIFIC PLAN**

Figure 16a  
Fuel Management  
Zone Treatments

# Shaded Fuelbreaks



# Brushlands



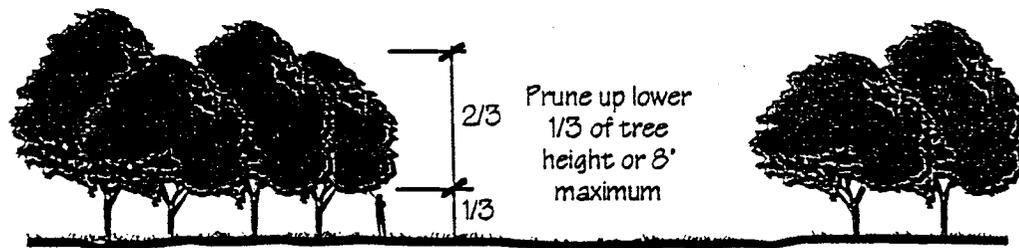
**WALPERT RIDGE  
SPECIFIC PLAN**

Figure 16b  
Fuel Management  
Zone Treatments

## Shaded Fuelbreaks



Untreated Shaded Fuelbreak



- ✓ Remove understory shrubs & small bay trees
- ✓ Remove all dead tree branches

Completed Shaded Fuelbreak

**WALPERT RIDGE**  
**SPECIFIC PLAN**

*Figure* 16C  
Fuel Management  
Zone Treatments

## APPENDIX A WALPERT RIDGE PLANNING HISTORY

While the first adopted plan for Walpert Ridge did not occur until 1980, recognition of the area's ability to accommodate both park and recreational facilities and residential development predates that official city action by several decades. Indeed, the controversies associated with the planning of Walpert Ridge have not focused on its suitability for residential development or its use as park land exclusively but rather on the relative quantities of each and the geographic location of those uses on the ridge.

On October 16, 1979, the first EIR for a Walpert Ridge Specific Area Plan was certified as having been completed in accordance with CEQA. Basically, that document (and subsequent EIRs) found that development in the area would result in the same type of impacts usually associated with suburban development: impacts involving traffic, air pollution, noise, erosion, etc. Additionally, the report further found that while there was enough stable, usable land on the ridge to possibly support 5,500 homes, the local streets that provide access to that area could not accommodate the traffic that would result from such a proposal. Thus, even with all the street improvements considered reasonably feasible, the traffic studies then conducted showed that no more than 1,800 or possibly 2,300 units (depending on traffic assumptions) could be built on the ridge without exceeding a level of service "C" on local streets.

The Specific Area Plan subsequently adopted on February 19, 1980, authorized the construction of 1,800 units on the ridge, subject to specified prerequisite mitigation measures, and further provided that development capacity could be increased to 2,300 units only if future traffic studies established that the higher capacity would not "...decrease the level of service on Hayward Boulevard, Harder Road, Carlos Bee Boulevard, or Second Street south of "E" Street below a level of "C" as defined by the latest edition of the Highway Capacity Manual, prepared by the Highway Research Board of the National Academy of Sciences."

The development prerequisites required by the 1980 Specific Area Plan would have, in part required:

- The dedication of approximately two thirds of the private property on Walpert Ridge to a public agency as open space;
  
- The dedication of a local park site;

- The dedication of a K-8 school site; and
- The construction of off-site street improvements including:

- A State of California and City of Hayward approved extension of Harder Road to Hayward Boulevard.

- Improvements to the Highland Boulevard and Campus Drive intersection; and

- Improvements to the Second and "E" Street intersection.

A request for PD zoning pursuant to the 1980 Plan was received from the firm of Hayward 1900 on October 5, 1983 but could not be approved or processed since an agreement to construct the prerequisite Harder Road extension had not been achieved.

In 1984, a petition to reduce the number of units allowed to "approximately 560 homes" was circulated. In response to the petition, the City Council referred the question of capacity to the voters as Measure M on the November 6, 1984, ballot. The voters response at that election was: 15,131 person favored the reduction and 17,731 did not favor that change.

In 1985, work on a new EIR for a proposed project, entitled "The Ridge", was initiated by Hayward 1900, the largest property owner on Walpert Ridge. In 1988, a General Plan revision to, in part, eliminate the prerequisite (and now unacceptable) connection of Harder Road to Hayward Boulevard was requested.

On October 10, 1989, a revised Specific Area Plan was adopted that eliminated the Harder Road connection requirement and substituted an alternative prerequisite: the Route 238 Freeway/Expressway and Carlos Bee Boulevard interchange. Based on the traffic studies included in the EIR, the 1989 Plan specified that no more than 760 units could be constructed on Walpert Ridge before completion of the freeway/expressway from the I-580/SR-238 interchange to, and including, the Carlos Bee Boulevard interchange.

The development prerequisites for the 1989 Plan included:

- All of the open space dedications required in the previous Plan plus Section 32 (the southernmost portion of Walpert Ridge where the EIR for the 1989 Plan found important wildlife corridors).
  
- The dedications of a local park and school site;
  
- The construction of a fire station, corporations yard and two reservoirs and the dedication of the land needed for these facilities.
  
- The improvement of the intersections designated in the 1980 Plan, plus improvements to the "B"/Center/Kelly intersection, the widening of Hayward Boulevard above Farm Hill Drive, and six designated signaling projects;
  
- Finally, a contribution of \$7.6 million toward the construction of Route 238 and its interchange with Carlos Bee was required (a contribution equivalent to the cost of constructing the alternative connection of Harder Road and Hayward Boulevard).

Predicated upon the satisfaction of the designated prerequisites, the potential construction of up to 1,927 units was authorized. The most limiting factors that determined this upper capacity were traffic, the need to protect wildlife habitats, and the need to protect the serenity of adjacent park lands from urban intrusions.

In response to the 1989 Plan revisions, another petition was circulated to limit ridge development further. As occurred in 1984, the City Council again referred the matter to the voters, this time as Measure R. Unlike 1984, however, the voters this time indicated their desire to limit development further, and on April 30, 1990, rejected that measure which would have affirmed the plan adopted the year before. The margin of the vote this time being 11,234 persons favoring reduced development and 5,321 persons supporting the plan.

In response to the outcome of the vote, work on a third EIR was begun on October 10, 1990,

for the purpose of revising the Walpert Ridge Specific Area Plan (SAP). This EIR was certified concurrently with the adoption of a revised SAP on September 24, 1991. The SAP allowed for the construction of 500 single-family detached dwellings on lots having an average size of not less than 10,000 square feet. Based on findings of financial necessity or design excellence, however, up to a total of 700 units (meeting minimum lot size) could be approved on the Ridge.

As specified in the SAP, all housing was to be sited within an approximately 310-acre area located within the 1.5-mile service area of Fire Station 5. Since Fire Station 5 is located at the corner of Skyline Drive and Hayward Boulevard and since that intersection is approximately one-half mile from the primary point of access to the Ridge, the SAP basically allowed development to extend southeasterly along the Ridge for a distance of about one mile.

Development prerequisites established by the Plan include:

- The dedication of approximately 1,850 acres of open space (approximately 86% of the 2,160 acre Planning Area);
- The dedication of a ten-acre elementary school site plus an eight acre contiguous park site;
- The dedication of right-of-way for a regional trail connection through the Planning Area;
- The partial funding of ten traffic mitigation measures including work on Mission Boulevard, the intersection of "B"/Center/Kelly, Center Street, Fairview Avenue, and the intersection of Second and "E" Street.

The SAP outlined general development policies for Walpert Ridge; however, the City realized that additional issues needed to be resolved before individual development projects could be authorized. These issues included: 1) unit allocation among the property owners; 2) site design and on-site circulation; 3) conformance with the Hillside Design and Urban/Wildland Interface Guidelines; 4) infrastructure requirements; and 5) the locations of the park and school sites.

On May 11, 1993, the City Council authorized the preparation of a Specific Plan (per Section 65451 of the State Government Code) to resolve the above issues. On May 25, 1995, the City Council adopted the Walpert Ridge Specific Plan. As directed by the City Council, this Specific Plan incorporates the existing SAP document and contains additional policies, plans, standards, and guidelines that elaborates and supplements the policies contained in the SAP. This Specific Plan provides a policy framework for reviewing development proposals and for ensuring that development will proceed in a well-planned and orderly manner. Since the Walpert Ridge planning area is comprised of several property owners/developers, this Specific Plan will also facilitate the coordination of public facility and infrastructure improvements among the different properties.

In 1996, the City Council and owner of the Hayward 1900 property executed a Memorandum of Understanding, pursuant to which the Ad Hoc Committee further examined development options for the Hayward 1900 Walpert Ridge property. After further examination, the Ad Hoc Committee determined that certain revisions to the Specific Plan would be appropriate. Many of these revisions, which address the use of padded lots, up front school construction, school/park dedication and retention of open space, are reflected in the Specific Plan, as amended on \_\_\_\_\_, 1998.