



**City of Hayward
Development Review Process
Focus Group Meeting**

**Wednesday, April 3, 2013
Hayward City Hall, Room 2A
10:00 am – Noon**

Meeting Agenda

- I. Welcome and Introductions (5 minutes)
David Rizk, Development Services Director

- II. Old Business/Questions (10 minutes)
David Rizk, Development Services Director

- III. Case Studies (95 minutes)

- IV. Announcements and Referrals (5 minutes)

- V. Next Meeting Date and Topic(s) (5 minutes)
June 5, 2013 – 10:00 am – Noon
Update on 238 Bypass Properties Disposition
Update on Green Building Code Standards, Fire Sprinkler Requirements, and 2013 Codes



Address: 25601 Clawiter Road (J.J. Truck Repair)

Job Description: Slab foundation, placement of paint booth & overhead pole structure open on 4 sides. Exposed materials to be painted to match the building. Per Glen M., approve minimal set and resolve issues in field.

Project Representative: Darryl Gray, Gray Associates

Permit Number	Application Submittal Date	Number of Plan Check Review Rounds	Issued Date	Finalled Date
BI-2012-0438	2/8/2012	2	5/15/2012	In progress



Department of Development Services

Building Inspection Division

777 B Street, Hayward, CA 94541-5007

TEL 510-583-4140 FAX 510-583-3642 TDD 510-247-3340

1st Punchlist

Building Permit Number: Bi-2012-0438
Job Address: 25601 Clawiter Rd
Reviewed By: Dennis Zafiratos **Phone Number:** (510) 583-4150
Type of Review: Mechanical
Date: 2/14/12
Proposed Work: New Paint Booth
Red-lines/Attachments (No/No)

COMMENTS - This plan check is not to be construed as an approval for any code items not noted, or commented on. It is the contractor's responsibility to conform to the provisions of all relevant laws, codes, ordinances, rules and regulations. Work shall not commence without approved plans unless specifically allowed by the Building Official. All inspections require the "APPROVED" job copy and job card to be available on the job site.

1. Plans submitted do not include details for paint booth or related ducting and piping.
2. Please submit plans and specifications for proposed paint booth.
3. Please provide a mechanical equipment schedule.
4. Please provide site plan showing paint booth ventilation termination to property line distance in feet.
5. Please provide plumbing plan for compressed air , gas or any other piping related to installation of paint booth.
6. Please provide electrical plan and electrical equipment schedule.



Development Services Department

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1st Punchlist

Building Permit Number: 2012-438
Job Address: 25601 Clawiter Rd
Type of Review: structural
Reviewed By: Robert Mao, P.E.
Phone Number: (510) 583-4182
Date Reviewed: 2-14-12
Returned Redlines: No
Proposed Work: truck paint booth

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- 1. Provide soils report / stamped and signed foundation details for the proposed paint booth foundation and pit.**
- 2. Indicate on plans the required special inspections and structural observation, such as, excavation, steel placement, proposed welding, etc.**



OFFICE OF THE FIRE MARSHAL

1st. Correction Punchlist

Fire Permit Number: NA
Building Permit Number: BI-2012-0438
Tenant: JJ Jr. Truck Repair
Job Address: 25601 Clawiter Road
Reviewed By: F. Chen
Date: February 17, 2012
Proposed Work: Spray booth and cover structure

This correction punchlist is not to be construed as an approval for any code items not noted, or commented on. It is the contractor's responsibility to conform to the provisions of all relevant laws, codes, ordinances, rules and regulations. Work shall not commence without approved plans unless specifically allowed by the Fire Chief. All inspections require the "APPROVED" job copy and job card to be available on the job site.

Item No.	Sheet No.	Correction Comments
1		Provide a scale site plan.
2		Clarify if there are access gate to Falcon Ave. and Enterprise Ave. They are required.
3		Show all building openings of the main building.
4		Clarify the distance between the spray booth cover structure and the main building. The distance shall meet the requirements in California Building Code Chapter 6.
5		Automatic fire suppression system is required for the spray booth.



Department of Development Services

Building Division

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First Punchlist

Building Permit Number: BI-2012-0438
Job Address: 25601 Clawitter Road
Reviewed By: Steve Osborne **Phone Number:** 510-583-4180
Type of Review: **Architectural**
Date: 2/21/12
Proposed Work: Install a spray booth building on the property.
Red-lines/Attachments (No)

COMMENTS - This plan check is not to be construed as an approval for any code items not noted, or commented on. It is the contractor's responsibility to conform to the provisions of all relevant laws, codes, ordinances, rules and regulations. Work shall not commence without approved plans unless specifically allowed by the Building Official. All inspections require the "APPROVED" job copy and job card to be available on the job site.

1. The drawing package is incomplete for a project of this scope. Provide the following drawings and information:
 - a. **An architectural cover sheet.** The cover sheet shall be prepared and stamped by an architect registered in California. Include a location map, project data, current codes, construction type, occupancy classification(s), accessible parking count, a comprehensive sheet index and a verbal description of the scope of work.
 - b. **A site plan.** Provide a complete site plan drawn to scale. Show the location of the proposed structure relative to other buildings. Provide clear dimensions to property lines and adjacent structures. Show all parking spaces. Show wheelchair accessible parking spaces and the route to the new building from these spaces.
 - c. **Provide electrical, mechanical and plumbing plans prepared by an engineer.** Show existing panel capacity, show drainage systems, show required clearances to any fresh air intakes from proposed exhaust fans.
 - d. **Provide information on the lighting in the structure.** Verify if the lighting falls under T-24 energy requirements. If so, provide an energy report with the re-submittal.
 - e. **Organize the set in a standard format.** The current submittal does not follow professional standards. Organize the set to start with the cover sheet and then the site plan. Follow these with accessibility details,

architectural sheets, structural sheets, and finally the mechanical, electrical and plumbing sheets. All sheets shall be stamped and signed by the design professional that prepared them. All sheets must be the same size and formatted in a consistent way.

Please feel free to contact me at my direct line listed above if you have any questions.



Address: 25972 Eden Landing Road (Gillig Corporation)

Job Description: Construction of a 5830 square foot metal office building, single story, with canopy. 7ft tall fence not a part of this permit.

Project Representative: Robert Deen, Robert Deen Construction

Permit Number	Application Submittal Date	Number of Plan Check Review Rounds	Issued Date	Finalled Date
BI-2012-3137	11/15/2012	3	3/28/2013	In progress



Department of Development Services

Building Inspection Division

777 B Street, Hayward, CA 94541-5007

TEL 510-583-4140 FAX 510-583-3642 TDD 510-247-3340

1st Punchlist

Building Permit Number: Bi-2012-3137

Job Address: 25972 Eden Landing Rd

Reviewed By: Dennis Zafiratos **Phone Number:** (510) 583-4150

Type of Review: Plumbing / Mechanical

Date: 12/10/12

Proposed Work: New Metal Building

Red-lines/Attachments (No/No)

COMMENTS - This plan check is not to be construed as an approval for any code items not noted, or commented on. It is the contractor's responsibility to conform to the provisions of all relevant laws, codes, ordinances, rules and regulations. Work shall not commence without approved plans unless specifically allowed by the Building Official. All inspections require the "APPROVED" job copy and job card to be available on the job site.

1. No plastic plumbing per City of Hayward Plumbing Ordinance. Please revise DWV piping on schedule on sheet P-2.
2. Plumbing fixtures to comply with the City of Hayward Indoor Water Efficiency Ordinance. Please revise fixture schedule. Toilets to be 1.28 GPF , Lavatory faucets to be .5 GPM.



Department of Development Services

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777 B Street, Hayward, CA 94541-5007

TEL 510-583-4140 FAX 510-583-3642 TDD 510-247-3340

First Punchlist

Building Permit Number: BI-2012-3137

Job Address: 25972 Eden Landing Road

Reviewed By: Steve Osborne **Phone Number:** 510-583-4180

Type of Review: **Architectural / T-24 Energy**

Date: 12/21/2012

Proposed Work: Build new 5,830 square foot office building next to existing facility.

Red-lines/Attachments **YES: Redlines**

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SHEET A1

1. Please update the applicable codes section of the project data. Include the 2010 California Green Building Standards Code and the following language: *All Work Shall Conform to City of Hayward Applicable Codes and Ordinances*. Also, update the Energy Code to the 2008 edition.
2. Indicate the building occupant load in the project data.
3. **Local Green Building Requirement for Newly Constructed Commercial Projects:** This building falls under the following local regulation: All newly constructed commercial projects shall exceed the 2008 *Building Energy Efficiency Standards (Title 24, Part 6) of the California Code of Regulations* requirements by at least 15% using the performance method. *CITY OF HAYWARD ORDINANCE NO. 10-19*
The energy report must be completed under the overall performance method. Individual reports prepared by the sub contractors will not comply. To find a qualified energy expert if you do not already have one, consider visiting the website: www.cabec.org (California Association of Building Energy Consultants).
4. Please remove the roof plan from the cover sheet and replace it with the site plan on Sheet A2 (or a smaller modified version of the site plan for reference). The roof plan is usually at the back of the architectural series of sheets.

5. Please include the structural drawings in the set of plans. The structural sheets should be on the same size paper and shall have the seal and signature of the engineer of record. Please include these sheets on the sheet index.
6. Indicate required bicycle parking per CalGreen 5.106.4.1 and 5.106.4.2 in the project data parking table.
7. Indicate required low emission vehicle and carpool parking per CalGreen 5.106.5.2 in the project data parking table.
8. Provide an accessible parking count based on Table 11B-6 in the project data.
9. **CalGreen Documentation:** Consider creating a sheet in the set with a table or checklist that identifies where all of the various CalGreen mandatory measures are met. These would include the following items: Site Development 5.106, Outdoor Water Use 5.304, (*indoor water use in 5.303 is covered by a local ordinance*), Moisture Management 5.407, (*construction waste management in 5.408 is covered by a local ordinance*), Building Maintenance and Operation 5.410, Pollutant Control 5.504 --*provide documentation for finishes, carpets and other items covered*, Environmental Comfort 5.507--*provide an acoustical report to document compliance*, and finally, Outdoor Air Quality 5.508.

SHEET A2

10. The square footage of the building shown on this plan should be consistent with the project data square footage (5,830 square feet).
11. Please indicate the primary accessible path of travel to the new building from the accessible parking spaces. Provide details for all accessible elements along the path of travel.
12. Provide standard accessibility details for the ramp that is shown here and that is partially detailed on sheet C2.1.
13. Provide an allowable area calculation per Chapter 5 of the 2010 CBC. Make sure not to count the frontage for the portion with the walkway cover. Include the calculation on this sheet for reference.

SHEET A3

14. Consider modifying this plan to include accessibility information for the entrances. This would include the level landing dimensions, strike side door clearances, international symbol of accessibility signage locations and any other applicable information.
15. Please indicate the occupant load for each room and the area on the room identification tag.
16. Show the exit signage locations on this sheet and provide basic egress information (travel distance, exit width, and separation of exits).
17. Provide a plumbing fixture count based on Table 4-1 of the 2010 California Plumbing Code.

SHEET A4

18. Please clarify if there is actually a level change shown on the East Elevation. See redlines for more information.
19. Indicate tempered glazing at required locations. This can be done with a tag on the elevations or in a window schedule.

SHEET A5

20. For the proposed wall pak exterior lighting, please provide OLTG T-24 forms.

SHEET A7

21. **New Dimensions:** Update the restroom accessibility details to reflect the changes in the August 1st 2012 supplement to the 2010 CBC. See 1115B.4.1 (water closet position relative to wall) and 1115B.8.4. (toilet tissue dispenser position relative to water closet). Please update all related notes, details and plan dimensions.
22. In the men's restroom, the door to the accessible water closet compartment must be located diagonally to the fixture. See 2010 CBC 1115B.3 #4 item 4.3.

SHEET MT1

23. Please note that the T-24 energy report will need to be resubmitted as a comprehensive performance based report (including lighting, mechanical and envelope), as mentioned in comment #3. In order to comply with the local ordinance, the building will need to be 15% better than the standard design. Please submit the energy report incorporated into the full sized sheets and in an 8.5 x 11 format.

SHEETS E1-E3

24. Please resubmit these sheets on the same sized paper that the rest of the set is printed on.

If you have any questions, please feel free to email me: sosborne@hayward-ca.gov , or call me at my direct line: 510-583-4180.

Thank You

END OF COMMENTS



Development Services Department

Building Division

777 B Street, Hayward, CA 94541

TEL 510-583-4140 FAX 510-583-3642 TDD 510-247-3340

1st Punchlist

Building Permit Number: #bi-2012-3137

Job Address: 25972 Eden Landing Road

Type of Review: Electrical

Reviewed By: Gary Nordahl

Phone Number: (510)-583-4153

Date Reviewed: 12-26-12

Proposed Work: New Metal Office building

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E-2 Add note: Per City of Hayward Electrical Ordinance: All Ceiling mounted fixtures shall be attached to the grid (structural component) with 4 screws, (1 at ea. Corner) and 2 wires suspended from the structure & attached at opposite corners of the fixture.

E-2.0 Add note: The means of egress illumination level shall not be less than 1 foot-candle (11 lux) at the walking surface level. In the event of power supply failure, an emergency electrical system shall automatically illuminate the following areas:

1. Aisles and unenclosed egress stairways in rooms and spaces that require two or more means of egress.
2. Corridors, exit enclosures and exit passageways in buildings required to have two or more exits.
3. Exterior egress components at other than the level of exit discharge until exit discharge is accomplished for buildings required to have two or more exits.
4. Interior exit discharge elements, as permitted in Section 1024.1, in buildings required to have two or more exits.
5. Exterior landings, as required by Section 1008.1.5., for exit discharge doorways in buildings required to have two or more exits.

The emergency power system shall provide power for duration of not less than 90 minutes and shall consist of storage batteries, unit equipment or an on-site generator.

The installation of the emergency power systems shall be in accordance with Section 2702

E-2 Add Note; All rooms 100 square feet or greater and have more than one lighting fixture shall have the **switching split** (i.e. minimum of two switches) and an additional switch shall be required for room equal to or greater than 250 square feet with valance lighting from windows. Valance lighting zone includes area 2 feet on each side of the windows and a distance of 15 feet back from the windows. Show switching details for "Daylite Areas" in large & open office spaces per T-24 Energy requirements.

E-2 Add note: All Controls and switches intended to be used by the occupant of the room or area to control lighting and receptacle outlets, appliances or cooling, heating and ventilating equipment, shall located no more than 48 inches measured from the top of the junction or device box nor less than 15 inches measured to the bottom of the junction or device box above the finished floor.

E-3 Add Note: Where more than one nominal voltage system exists in a building, each ungrounded system conductor shall be identified by phase and system. The means of identification shall be permanently posted at each branch circuit panel board.

The phase color coding of the insulation of conductors shall be:

- a) Brown – Purple – Yellow for 480/277- volts.
- b) Black – Red – Blue for 208/120- volts.

E-3 Amend 1 line diagram to show conduit sizes for new feeders to 75kva x-former & to panel H1. Also designate wire type & size.

E-3 Add note: Per Section 200-2 of the 2010 CEC , All premises wiring systems, other than those excepted by this article, shall contain a grounded (neutral) conductor that is identified in accordance with article 200-6. (i.e; A grounded conductor shall be pulled to the primary disconnecting means & landed on the listed terminal. The equipment grounding conductors shall be landed on a listed lug or termination point per unit labeling.)

E-3 Add note: Provide the short circuit current rating of the electrical service in a letter from P.G. &E. The panelboard(s) and/or circuit breakers shall meet or exceed the S.C.C. rating. A point-to-point ground-fault and short-circuit calculations may be required to substantiate the ratings of the electrical equipment.

E-1.0 Add note: All receptacles outlets on branch circuits of 30-amperes or less and communication system receptacles shall be located no more than 48 inches measured from the top of the receptacle outlet box or receptacle housing nor less than 15 inches measured to the bottom of the receptacle outlet box or receptacle housing above the finished floor.



OFFICE OF THE FIRE MARSHAL

1st. Correction Punchlist

Building Permit Number: BI-2012-3137
Tenant: Gillig Parts Office
Job Address: 25972 Eden Landing Road
Reviewed By: M. Perez
Date: 12/21/2012
Proposed Work: Construction of 5,800 S.F. Metal Office Building

This correction punchlist is not to be construed as an approval for any code items not noted, or commented on. It is the contractor's responsibility to conform to the provisions of all relevant laws, codes, ordinances, rules and regulations. Work shall not commence without approved plans unless specifically allowed by the Fire Chief. All inspections require the "APPROVED" job copy and job card to be available on the job site.

PROJECT DESCRIPTION

The proposed project is a new construction office building of 5,830 square feet. This is a single-story, of Type VB construction metal building. Building height is 22 feet 7 inches. There is an attached canopy (12 feet by 20 feet) connecting the proposed building and the existing office/warehouse building (108,253 square feet) onsite.

Item No.	Sheet No.	Correction Comments
1.	N/A	<p>Chemical Inventory – Clearly describe the proposed chemical use and/or storage for this business. A complete chemical inventory shall be submitted by the operator/owner for the project. An inventory shall be completed for each occupancy type and control area of the facility, and it shall include any outside storage and use of hazardous materials. Chemicals falling into more than one hazard category, should be listed in each category and chemicals in more than one state should be listed in each state with the quantities listed in pounds for solids, gallons for liquids and cubic feet (at standard temperature and pressure) for gases. Include hazardous materials stored and used for facility equipment, such as battery electrolyte and/or propane for forklifts, or diesel for emergency generators.</p> <p>Individual container size is requested along with whether the material is in use or storage, inside the building or outside and in an open system or closed system. A <i>Chemical Inventory Worksheet Packet</i>, including the hazardous materials hazard categories, can be obtained by contacting the Hazardous Materials Office at 510-583-4926. A summary of the chemical inventory for the project should be included on a separate sheet of the plans, along with a sheet that identifies the control areas and occupancy areas of the facility.</p>



Development Services Department
 Planning Division
 777 B Street, Hayward, CA 94541-5007
 TEL 510-583-4200 FAX 510-583-3649 TDD 510-247-3340

Correction Punchlist

Building Permit Number: BI-2012-3137

Project/Applicant: Robert Deen

Job Address: Eden Landing RD 2597

Review By: Richard Patenaude 583-4213, Michelle Koo 583-4208, John Nguyen 583-4111

Due Date: 12/21/2012 **REDLINES:** Yes No

Proposed Work: Construction of a 5830 square foot metal office building, single story, with canopy. **NEW ADDRESS MUST BE ASSIGNED PRIOR TO ISSUANCE**

Item No.	Sheet No.	Correction Comments
<u>Planning</u>		1. Submit details of new fence; must be of decorative metal. 2. Submit colors & materials board. REP 12/17/12
<u>Landscaping</u>		Proposed conceptual landscape design carving out section of existing lawn to create new landscape is acceptable in concept if the existing lawn is in thriving condition. The existing lawn appears to have spent its full lifecycle with large brown spots and possibly interwoven weeds that may make the lawn looking "green". The followings should be incorporated into the proposed landscape design: <ol style="list-style-type: none"> 1. Building permit submittal set shall have the landscape architect's wet signature. 2. Submit a comprehensive arborist report for the trees proposed to be removed. Removed trees shall be mitigated with like-value in compliance with the City's Tree Preservation Ordinance. 3. A tree removal permit shall be obtained prior to removing any existing trees. A copy of the approved tree mitigation plan and arborist report shall be attached to the tree removal permit application. 4. The total renovated landscape area is more than 2,500 sq. ft.; therefore, the project shall fully comply with the City's Bay-Friendly Water Efficient Landscape Ordinance. Some of those requirements are specifying hydrozone competitive plants for neighboring plants (do not use low water requiring plants next to high water requiring plants such as turf), appropriate plant spacing, irrigation standards for specifying weather based

		<p>controller, water budget calculations (estimated current use with full lawn and estimated use with the new design), watering schedule for the first year and recommended watering schedule after the establishment period and etc.</p> <ol style="list-style-type: none"> 5. Provide Landscape Statements required in Bay-Friendly Water Efficient Landscape Ordinance. 6. Evaluate the condition of existing lawn. If more that 30% of the lawn needs re-sodding, the entire lawn area in the new design shall be re-sodded with drought tolerant species of lawn. No lawn areas at any point should be less than 8' wide. 7. Proposed spacing for <i>Arctostaphylos uva-ursi</i> 'Pt. Reyes' at 2' on center is not acceptable. The plant will mature to cover much bigger area. Space them appropriately. 8. Proposed design will require significant changes to the existing irrigation system and layout. The irrigation system for the new landscape and re-configured lawn area shall meet the current water efficient standards and requirements in compliance with Bay-Friendly Water Efficient Landscape Ordinance. The irrigation system for the re-configured lawn area shall have uniform performance standards, do not mix and match. Investigate the age of the existing system; field test for the uniform coverage; and upgrade existing controller to be weather based smart controller system with multiple "Cycle and Soaking" capability. 9. Revise Tree Planting Specification to be consistent with the City Standard and the proposed irrigation plan specifying two tree bubblers for each tree. 10. No spray irrigation within 24" from the edge of hardscape shall be allowed: see Bay-Friendly Water Efficient Landscape Ordinance. 11. Irrigation plan doesn't indicate point of connection and any new valves. Tree bubblers and drip irrigation shall be on separate valves. Are proposed tree bubblers connected to existing tree bubblers that are on a separate valve? Is it same for the proposed drip irrigation? 12. Metal caging for backflow prevention device shall be able to receive a lock, and shall receive a polar blanket. <p>MK - 12/19/12</p>
<u>Engineering</u>		<p>Okay to stamp JPN 12/20/2012</p>



Department of Public Works

Utilities & Environmental Services

777 B Street, Hayward, CA 94541-5007

TEL 510-583-4727 FAX 510-583-3610

1st Correction Punchlist

Permit No: BI-2012-3137
Applicant: Robert Deen
Job Address: 25972 Eden Landing Road
Reviewed By: Alicia Sargiotto
Date: 12/18/12
Project Description: New Gillig parts office. Construction of a 5,830 square-foot metal office building, single story, with canopy. **NEW ADDRESS MUST BE ASSIGNED PRIOR TO ISSUANCE**

COMMENTS – This plan check is not to be construed as an approval for any code items not noted, or commented on. It is the contractor's responsibility to conform to the provisions of all relevant laws, codes, ordinances, rules and regulations.

General Comments/Conditions:

1. Water & Sewer Service are available and subject to standard conditions and fees in effect at time of application and payment of fees.

- a. Water Services – Any modifications needed to the water services and/or water meters (upsized, downsized, relocate, etc.) must be performed by City crews at the owner's/applicant's expense.

The property is currently served by a 1 ½" domestic meter (account # 35-85250.01), a 2" irrigation meter (account # 35-85245.01) and a 10" fire service (account # 35-85260.01).

Domestic: A separate domestic water meter shall be installed for the new office building. Based on the water demand schedule provided on Sheet P1, the finished structure will have 54 fixture units, which will require a minimum 1" water service line and 1" domestic water meter. The cost for a 1" meter and 1" water service line is **\$19,710** (\$3,500 installation cost + \$16,210 facilities fee).

- b. Sewer Service – Sewer System Connection/Capacity to accommodate the volume and waste strength of wastewater to be discharged from the subject project must be purchased, at the rates in effect at the time of purchase, prior to discharge. The current sewer connection fee for a general commercial/industrial establishment is **\$36.68** per gallon of daily discharge, with a minimum connection fee of **\$7,700**.

Condition of Approval: Complete the attached Sewer Service Connection fee application and submit it to Senior Utility Service Representative via fax, 510-583-3610, or e-mail, alicia.sargiotto@hayward-ca.gov.

1. The applicant/developer shall install a Reduced Pressure Backflow Prevention Assembly on each domestic and irrigation water meter, per City Standard SD-202. Backflow Prevention Assemblies shall be at least the size of the water meter or the water line on the property side of the meter, whichever is bigger. City records indicate that the existing

domestic water meter and the existing irrigation meter are both unprotected. RP backflow devices must be installed on the existing domestic meter, the existing irrigation meter and the new domestic meter. Please contact the Cross Connection Control Specialist, Kathy Richards, at (510) 881-7965, once the backflow device has been installed so that it can be inspected and tested.

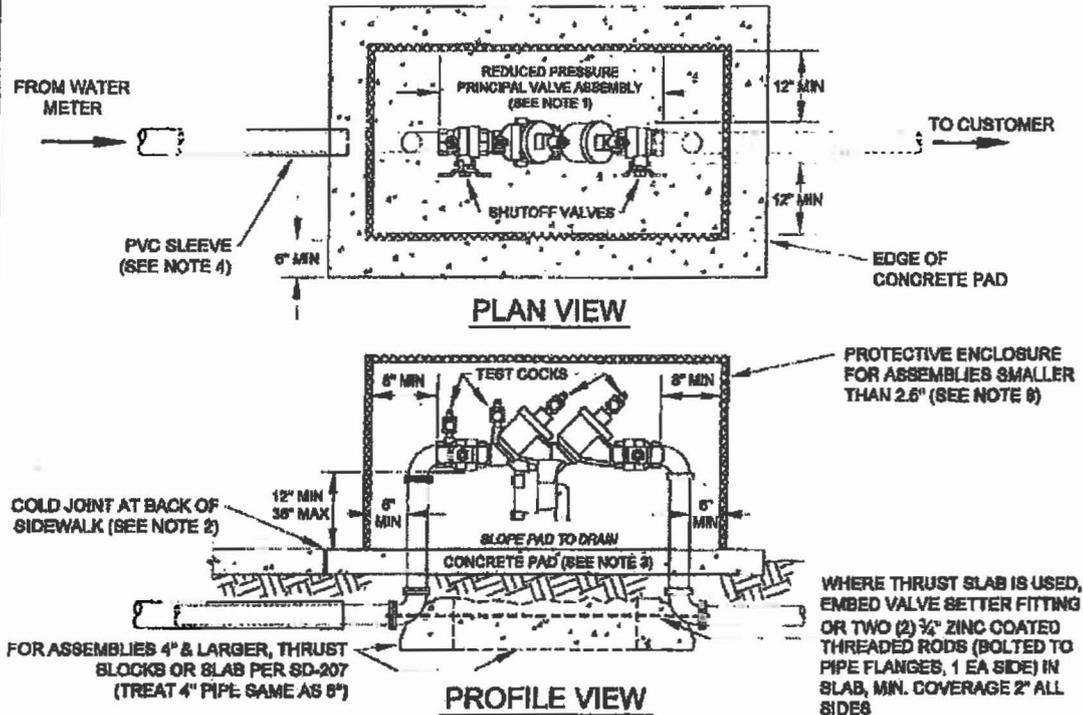
Condition of Approval: Prior to Final Inspection/Approval, City Inspector shall confirm that the both domestic water services and the irrigation water service are equipped with a Reduced Pressure Backflow Prevention Assembly, per City of Hayward Standard Detail SD-202.

2. Water meters and services to be located a minimum of two feet from top of driveway flare as per City Standard Details SD-213 thru SD-218.
3. Water mains and services, including the meters, must be located at least 10 feet horizontally from and one-foot vertically above any parallel pipeline conveying untreated sewage (including sanitary sewer laterals), and at least six feet from and one foot vertically above any parallel pipeline conveying storm drainage, per the current California Waterworks Standards, Title 22, Chapter 16, Section 64572. The minimum horizontal separation distances can be reduced by using higher grade piping materials.

Complete the Following Items:

1. Show the location and size of the new domestic water meter.
2. Show the location and size of the new RP backflow assembly for the new domestic water service. Backflow prevention assemblies shall be at least the size of the water meter or the water line on the property side of the meter, whichever is bigger.
3. Complete the attached Sewer Service Connection fee application and submit it to Senior Utility Service Representative via fax, 510-583-3610, or e-mail, alicia.sargiotto@hayward-ca.gov.
4. Add to the plans the note "Only City Water Distribution Personnel shall operate valves and install taps on the Hayward Water System"
5. Add to the plans the note "Water & Sewer services are available and subject to the City of Hayward's standard conditions and fees in effect at the time of application and payment of fees."
6. Add to the plans the note "Sewer Capacity Fee is Due and Payable Prior to Final Inspection."

**FOR IRRIGATION AND WATER SERVICES
 WHERE REQUIRED BY CCR, TITLE 17, § 7604**



NOTES:

1. ALLOWED BACKFLOW ASSEMBLIES AND THEIR ORIENTATIONS SHALL BE LIMITED TO THOSE SPECIFIED ON THE "LIST OF APPROVED BACKFLOW PREVENTION ASSEMBLIES," BY THE UNIVERSITY OF SOUTHERN CALIFORNIA'S FOUNDATION FOR CROSS-CONNECTION CONTROL AND HYDRAULIC RESEARCH, 2010 OR LATEST REVISION.
2. THE BACKFLOW DEVICE SHALL BE LOCATED: (A) A MAXIMUM OF 6' FROM BACK OF SIDEWALK (TYP.); (B) WHERE SCREENING IS REQUIRED, A MAXIMUM OF 30' FROM BACK OF SIDEWALK; OR (C) AT A LOCATION DETERMINED BY THE WATER DISTRIBUTION CROSS CONNECTION PERSONNEL IN THE FIELD.
3. CONCRETE PAD SHALL BE CLASS B CONCRETE, 4" MINIMUM THICKNESS, REINFORCED WITH WELDED WIRE MESH.
4. WHERE SERVICE LINES SMALLER THAN 4" PASS UNDER A SIDEWALK, THEY SHALL BE INSTALLED IN A PVC CASING/SLEEVE AT LEAST 1" LARGER THAN THE SERVICE LINE AND EXTENDS AT LEAST 6" BEYOND THE EDGES OF THE SIDEWALK.
5. METAL PIPES EXPOSED TO SOIL OR CONCRETE SHALL BE COATED WITH 3M SCOTCHWRAP PIPE PRIMER AND WRAPPED WITH 3M SCOTCHWRAP NO. 51 BLACK PVC TAPE (1/2" OVERLAP).
6. THE PORTION OF THE TRENCH FROM BACK OF METER TO THE DEVICE SHALL REMAIN OPEN UNTIL WATER DISTRIBUTION CROSS CONNECTION PERSONNEL HAVE INSPECTED AND APPROVED THE INSTALLATION.
7. THE TESTING SIDE OF THE DEVICE SHALL HAVE A MINIMUM 24" OF CLEARANCE FROM OBSTRUCTIONS (NON-TRIMMABLE LANDSCAPING, BUILDINGS, UTILITIES, ETC.). MULTIPLE BACKFLOW DEVICES SHALL BE SEPARATED BY A MINIMUM OF 18".
8. BACKFLOW ASSEMBLIES SMALLER THAN 2.5" SHALL BE COVERED WITH AN INSULATION BLANKET, MIN R-13, GREEN, WEATHERGUARD OR EQUAL AND PROTECTED BY A LOCKABLE WIRE CAGE ENCLOSURE FASTENED TO THE PAD. THE ENCLOSURE SHALL BE HINGED, POWDER COATED GREEN AND SECURED WITH A DOUBLE-LOCKED GALVANIZED CHAIN SUCH THAT EITHER LOCK CAN RELEASE THE CHAIN. ONE LOCK WILL BE SUPPLIED BY CITY.
9. BACKFLOW ASSEMBLIES 2.5" AND LARGER SHALL BE SECURED BY A DOUBLE-LOCKED, GALVANIZED, STRAIGHT LINK CHAIN THAT LOCKS THE VALVE HANDWHEELS IN THE OPEN POSITION AND EITHER LOCK CAN RELEASE THE CHAIN. ONE LOCK WILL BE SUPPLIED BY CITY. IN AREAS PRONE TO VANDALISM, CITY MAY ADDITIONALLY REQUIRE A LOCKABLE PROTECTIVE ENCLOSURE (SEE NOTE 8).
10. BOLLARDS MAY BE REQUIRED BY CITY TO PROVIDE ADDITIONAL PROTECTION (SEE SD-223 FOR BOLLARD DETAIL).

<p>CITY OF HAYWARD PUBLIC WORKS DEPT.</p>		<p>SD-202</p>
<p>DRW BY: RS</p>	<p>SCALE: NTS</p>	<p>FIELD</p>
<p>APPR BY: <i>[Signature]</i></p>	<p>APPROVED: <i>[Signature]</i></p>	<p>SI 1 OF 1</p>
<p>REV DATE BY</p>	<p>CITY ENGINEER</p>	<p>DIV PUBLIC WORKS</p>



CITY OF HAYWARD * WATER DIVISION

BACKFLOW PREVENTION REQUIREMENTS

In accordance with the regulations of California Administrative Code, Title 17, no water service to any premises shall be installed or maintained by the City of Hayward Water System unless the public water supply is protected according to said State regulations and the requirements of the Hayward Water System.

Backflow prevention devices shall be required on each water service connection where any of the following conditions exist, or as required by the appropriate offices of the City of Hayward.

Please check any of the following that apply to your project

- (1) A well on property
- (2) Any connection to or access to an additional source of water, including stored water.
- (3) Any substance handled under pressure, including boilers
- (4) Any material or toxic substance dangerous to health
- (5) Any internal pressure boosting system
- (6) Irrigation systems, (except single family residences).
- (7) Fire System of Class III or Higher
- (8) Other condition that could be a danger to the public water system.

Please Type or Print

Service Address 25972 Eden Landing Road Date 12/18/12

Gillig, Inc.
(Name)

P.O. Box 3008
(Address)

Hayward, CA 94540
(City, St., Zip)

(510) 264-5000
(Phone & Fax Nos.)

By Water System:

Type of Backflow Prevention Device Required: REDUCED PRESSURE PRINCIPAL BACKFLOW

Water Service Number 96305

Type of Service domestic

(Applicant's Signature)

(Title)

(SUSR0383)



CITY OF HAYWARD * WATER DIVISION

BACKFLOW PREVENTION REQUIREMENTS

In accordance with the regulations of California Administrative Code, Title 17, no water service to any premises shall be installed or maintained by the City of Hayward Water System unless the public water supply is protected according to said State regulations and the requirements of the Hayward Water System.

Backflow prevention devices shall be required on each water service connection where any of the following conditions exist, or as required by the appropriate offices of the City of Hayward.

Please check any of the following that apply to your project

- (1) A well on property
- (2) Any connection to or access to an additional source of water, including stored water.
- (3) Any substance handled under pressure, including boilers
- (4) Any material or toxic substance dangerous to health
- (5) Any internal pressure boosting system
- (6) Irrigation systems, (except single family residences).
- (7) Fire System of Class III or Higher
- (8) Other condition that could be a danger to the public water system.

Please Type or Print

Service Address 25972 Eden Landing Road Date 10/18/12

Gillig, Inc.
(Name)

P.O. Box 3008
(Address)

Hayward, CA 94540
(City, St, Zip)

(510) 264-5000
(Phone & Fax Nos.)

By Water System:

Type of Backflow Prevention Device Required: REDUCED PRESSURE PRINCIPAL BACKFLOW

Water Service Number 26406

Type of Service irrigation

(Applicant's Signature)

(Title)

**CITY OF HAYWARD
INDUSTRIAL/COMMERCIAL SANITARY SEWER CONNECTION FEE**



A. APPLICANT INFORMATION

Applicant Name _____ Owner/Applicant/Other _____
Mailing Address _____ City _____ State _____ Zip Code _____
Telephone _____ Cell Phone _____
Fax _____ E-mail _____

B. FACILITY INFORMATION

Owner Name (if different from applicant) _____
Facility Address _____ City _____ State _____ Zip Code _____
New Construction Y N Remodel of Existing Facility Y N
Previous Use(s) if known _____ Bldg Size (sq ft) _____

C. BUSINESS INFORMATION

Description of Business _____
No. of Employees _____

D. FOR FOOD SERVICE ESTABLISHMENTS ONLY (Restaurants and Other Food-Related Businesses)

Type of Food _____
Under-Sink Grease Trap Y N In-Ground Grease Interceptor Y N
For Restaurants Only: Est. No. of Customers Per Day _____ No. of Seats _____
Est. No. of Meals Per Day (incl. take-out) _____ Disposable Dishes/Utensils Y N

E. APPLICANT'S ACKNOWLEDGEMENT

I acknowledge that the information provided is accurate to the best of my knowledge. I further acknowledge that the total sewer connection fee, as calculated by the City, must be paid to the City before the facility is connected to the public sanitary sewer system (if new connection) or before wastewater is discharged to the public sanitary sewer system (if existing connection). I understand that estimated wastewater discharge is based on information provided and that additional sewer connection fees must be paid, at rates in effect at the time of payment, if wastewater discharge exceeds the volume and strength shown in Part F, subject to availability of capacity.

Applicant's Signature _____ Date _____

F. WASTEWATER DISCHARGE ESTIMATES/SEWER CONNECTION FEE (to be completed by City)

Wastewater Volume (avg. gpd) _____
CBOD (avg. mg/L) _____ Suspended Solids (avg. mg/L) _____
Sewer Connection Fee/Gallon Daily Discharge _____ Total Sewer Connection Fee _____

G. FOR CITY USE ONLY

Water Service Application No. _____
Sewer Connection Fee Paid On _____ Received by _____



Department of Public Works

Utilities & Environmental Services

777 B Street, Hayward, CA 94541-5007

TEL 510-583-4727 FAX 510-583-3610

2nd Correction Punchlist

Permit No: BI-2012-3137
Applicant: Robert Deen
Job Address: 25972 Eden Landing Road
Reviewed By: Alicia Sargiotto
Date: 03/08/13
Project Description: New Gillig parts office. Construction of a 5,830 square-foot metal office building, single story, with canopy. **NEW ADDRESS MUST BE ASSIGNED PRIOR TO ISSUANCE**

COMMENTS – This plan check is not to be construed as an approval for any code items not noted, or commented on. It is the contractor's responsibility to conform to the provisions of all relevant laws, codes, ordinances, rules and regulations.

General Comments/Conditions:

1. Water & Sewer Service are available and subject to standard conditions and fees in effect at time of application and payment of fees.

- a. Water Services – Any modifications needed to the water services and/or water meters (upsized, downsized, relocate, etc.) must be performed by City crews at the owner's/applicant's expense.

The property is currently served by a 1 ½" domestic meter (account # 35-85250.01), a 2" irrigation meter (account # 35-85245.01) and a 10" fire service (account # 35-85260.01).

Domestic: A separate domestic water meter shall be installed for the new office building. Based on the water demand schedule provided on Sheet P1, the finished structure will have 54 fixture units, which will require a minimum 1" water service line and 1" domestic water meter. The cost for a 1" meter and 1" water service line is **\$19,710** (\$3,500 installation cost + \$16,210 facilities fee).

- b. Sewer Service – Sewer System Connection/Capacity to accommodate the volume and waste strength of wastewater to be discharged from the subject project must be purchased, at the rates in effect at the time of purchase, prior to discharge. The current sewer connection fee for a general commercial/industrial establishment is **\$36.68** per gallon of daily discharge, with a minimum connection fee of **\$7,700**.

Condition of Approval: Complete the attached Sewer Service Connection fee application and submit it to Senior Utility Service Representative via fax, 510-583-3610, or e-mail, alicia.sargiotto@hayward-ca.gov.

1. The applicant/developer shall install a Reduced Pressure Backflow Prevention Assembly on each domestic and irrigation water meter, per City Standard SD-202. Backflow Prevention Assemblies shall be at least the size of the water meter or the water line on the property side of the meter, whichever is bigger. City records indicate that the existing

domestic water meter and the existing irrigation meter are both unprotected. RP backflow devices must be installed on the existing domestic meter, the existing irrigation meter and the new domestic meter. Please contact the Cross Connection Control Specialist, Kathy Richards, at (510) 881-7965, once the backflow device has been installed so that it can be inspected and tested.

Condition of Approval: Prior to Final Inspection/Approval, City Inspector shall confirm that the both domestic water services and the irrigation water service are equipped with a Reduced Pressure Backflow Prevention Assembly, per City of Hayward Standard Detail SD-202.

2. Water meters and services to be located a minimum of two feet from top of driveway flare as per City Standard Details SD-213 thru SD-218.
3. Water mains and services, including the meters, must be located at least 10 feet horizontally from and one-foot vertically above any parallel pipeline conveying untreated sewage (including sanitary sewer laterals), and at least six feet from and one foot vertically above any parallel pipeline conveying storm drainage, per the current California Waterworks Standards, Title 22, Chapter 16, Section 64572. The minimum horizontal separation distances can be reduced by using higher grade piping materials.

Complete the Following Items:

- ~~1. Show the location and size of the new domestic water meter.~~
2. ~~Show the location and size of the new RP backflow assembly for the new domestic water service.~~ The RP backflow assembly for the new domestic service is shown as 1". Backflow prevention assemblies shall be at least the size of the water meter or the water line on the property side of the meter, whichever is bigger. The water supply line is shown as 2". The backflow assembly must be at least 2".
3. Show the location and size of the new RP backflow assemblies for the existing 1 ½" domestic meter and 2" irrigation meter. Keep in mind that the backflow devices shall be at least the size of the water meter or the water line on the property side of the meter, whichever is bigger. For the irrigation meter, the irrigation plans show that the supply line upsized to 2 ½", so the backflow device in the irrigation meter must be at least 2 ½".
4. Complete the attached Sewer Service Connection fee application and submit it to Senior Utility Service Representative via fax, 510-583-3610, or e-mail, alicia.sargiotto@hayward-ca.gov. The number of employees was not completed on the application. The description states parts warehouse, but the floor plan shows five offices. Please indicate the number of employees that will work in this building.

I was unable to locate the note below on the plans. Please indicate which plan sheet they are on:

5. Add to the plans the note "Only City Water Distribution Personnel shall operate valves and install taps on the Hayward Water System"
6. Add to the plans the note "Water & Sewer services are available and subject to the City of Hayward's standard conditions and fees in effect at the time of application and payment of fees."
7. Add to the plans the note "Sewer Capacity Fee is Due and Payable Prior to Final Inspection."

CITY OF HAYWARD
INDUSTRIAL/COMMERCIAL SANITARY SEWER CONNECTION FEE



A. APPLICANT INFORMATION
Applicant Name GILLIG Owner/Applicant/Other _____
Mailing Address 25800 CLAWTON RD City HAYWARD State CA Zip Code 94545
Telephone 510-264-5114 Cell Phone _____
Fax _____ E-mail chuck.o'brien@gillig.com

B. FACILITY INFORMATION
Owner Name (if different from applicant) _____
Facility Address 25922 EDEN LANDING RD City HAYWARD State CA Zip Code 94545
New Construction N Remodel of Existing Facility Y N
Previous Use(s) if known INDUSTRIAL WAREHOUSE Bldg Size (sq ft) 5830

C. BUSINESS INFORMATION
Description of Business PARTS WAREHOUSE No. of Employees _____

D. FOR FOOD SERVICE ESTABLISHMENTS ONLY (Restaurants and Other Food-Related Businesses)
Type of Food _____
Under-Sink Grease Trap Y N In-Ground Grease Interceptor Y N
For Restaurants Only: Est. No. of Customers Per Day _____ No. of Seats _____
Est. No. of Meals Per Day (incl. take-out) _____ Disposable Dishes/Utensils Y N

E. APPLICANT'S ACKNOWLEDGEMENT
I acknowledge that the information provided is accurate to the best of my knowledge. I further acknowledge that the total sewer connection fee, as calculated by the City, must be paid to the City before the facility is connected to the public sanitary sewer system (if new connection) or before wastewater is discharged to the public sanitary sewer system (if existing connection). I understand that estimated wastewater discharge is based on information provided and that additional sewer connection fees must be paid, at rates in effect at the time of payment, if wastewater discharge exceeds the volume and strength shown in Part F, subject to availability of capacity.
Applicant's Signature [Signature] EURT HOREND, ARCHITECT Date 1-14-13

F. WASTEWATER DISCHARGE ESTIMATES/SEWER CONNECTION FEE (to be completed by City)
Wastewater Volume (avg. gpd) 576
CBOD (avg. mg/L) 240 Suspended Solids (avg. mg/l) 150
Sewer Connection Fee/Gallon Daily Discharge _____ Total Sewer Connection Fee _____

G. FOR CITY USE ONLY
Sewer Connection Fee Paid On _____ Water Service Application No. _____
Received by _____



Address: 22380 Foothill Boulevard (Hayward Historical Society)

Job Description: T.I. interior improvements for (E) tenant space. Creating additional (A Occupancy) storage area square footage. INCLUDES SUBS.

Project Representative: Brian and/or Mike Morrison, B.A. Morrison, General Contractor

Permit Number	Application Submittal Date	Number of Plan Check Review Rounds	Issued Date	Finalled Date
BI-2012-1265	5/7/2012	3	8/14/2012	Pending



OFFICE OF THE FIRE MARSHAL

1st. Correction Punchlist

Fire Permit Number: NA
Building Permit Number: BI-2012-1265
Tenant: Hayward Area Historical Society
Job Address: 22380 Foothill Boulevard
Reviewed By: F. Chen
Date: May 15, 2012
Proposed Work: Interior Tenant Improvement

This correction punchlist is not to be construed as an approval for any code items not noted, or commented on. It is the contractor's responsibility to conform to the provisions of all relevant laws, codes, ordinances, rules and regulations. Work shall not commence without approved plans unless specifically allowed by the Fire Chief. All inspections require the "APPROVED" job copy and job card to be available on the job site.

Item No.	Sheet No.	Correction Comments
1		Provide a narrative to summarize the scope of work.
2		List all applicable occupancies. Clarify occupant load in each suite.
3		What is "AFES"? The text after construction Type IIIB.
4		What is the current use of new added storage area 1,027 square feet?
5		What is the current use of the area which will be future roof top garden on second floor? Is there any roof?
6		Differentiate new walls vs. existing walls, fire rated walls vs. perimeter non-rated walls. Provide a demon plan.
7		There are door openings at Grid 5 and 6 on Ground Floor. Clarify fire rating of the walls and fire protection of the openings.
8		Double name some areas. There two Area 305 in Café and Lobby.
9		Show all room names.
10		Is the new café included in this permit? Will kitchen have commercial cooking? If yes, hood fire protection system is required.

- 11 **It is our understanding that the building is partially sprinklered. Indicate on the plans the areas covered by the sprinkler system, the location of sprinkler riser, the location of fire department connection, sprinkler water density, design application area, sprinkler design classification.**
- 12 **Indicate if there are any other fire protection systems in the building.**



Department of Public Works
Public Utilities & Environmental Services
777 B Street, Hayward, CA 94541-5007
TEL (510) 583-4727 FAX (510) 583-3610

1st Correction Punchlist

Permit Number: BI-2012-1265
Applicant: B.A. Morrison
Job Address: 22380 Foothill Boulevard
Reviewed By: Alicia Sargiotto
Date: 05/16/12
Proposed Work: TI Hayward Area Historical Society. Interior improvements for (E) tenant space. Creating additional (A Occupancy) storage area square footage.

This document, including the corrective punchlist items and/or conditions below, is not to be construed as an approval for any code items not noted or commented on. It is the responsibility of the Owner/Developer/Contractor to conform to the provisions of all relevant laws, codes, ordinances, rules and regulations that are applicable to the project.

General Comments/Conditions:

1. Water & Sewer Service are available and subject to standard conditions and fees in effect at time of application and payment of fees:

a. Water Services – This property is currently served by a 1.5" domestic meter (22380 Foothill Boulevard, account # 05-04280.03), a 5/8" domestic meter (22386 Foothill Boulevard, account # 05-04260.04), a 1.5" domestic meter (22392 Foothill Boulevard, account # 05-04240.02), a 1.5" domestic meter (22398 Foothill Boulevard, downstairs, account # 05-04180.03), a 1" domestic meter (22398 Foothill Boulevard, upstairs, account # 05-04160.02) and a 6" fire service (account # 05-04200.05). If the existing water service line and meter cannot be reused, they must be abandoned by City Water Distribution Personnel at the owner's/applicant's expense.

It is unclear which domestic water meters serve which sections of the building. Provide information on which water meters serve each section of the building.

Any modifications needed to the water services and/or water meters (upsized, downsized, relocate, etc.) must be performed by City crews at the owner's/applicant's expense.

b. Sewer Service – Additional Sewer System Connection/Capacity to accommodate the volume and waste strength of wastewater to be discharged from the subject property may need to be purchased, at the rates in effect at the time of purchase, prior to discharge.

Condition of Approval: Please complete the attached Sewer Service Connection fee application and submit it to Senior Utility Service Representative via fax, 510-583-3610, or e-mail, alicia.sargiotto@hayward-ca.gov. Please complete two applications, one for the museum and one for the café.

2. All domestic & irrigation water meters must have Reduced Pressure Backflow Prevention Assemblies, per City of Hayward Standard Detail 202. Backflow Prevention Assemblies shall be at least the size of the water meter or the water line on the property side of the meter, whichever is bigger.
3. The applicant/developer shall install a grease control device to control fat, oil and grease discharge from any food service establishment, unless this requirement is expressly waived by the Director of Public Works or designee. The type, size, and location of the device shall be approved by the Director of Public Works.

Complete the Following Items:

1. There are five domestic water meters that serve this building. It is unclear which domestic water meters serve which sections of the building. Provide information on which water meters serve each section of the building.
2. Complete the attached Sewer Service Connection fee application and submit it to Senior Utility Service Representative via fax, 510-583-3610, or e-mail, alicia.sargiotto@hayward-ca.gov. Please provide any additional information you can regarding the estimated discharge volume and wastewater strength. Please complete two applications, one for the museum and one for the café.
3. Add to the plans the note "Only City Water Distribution Personnel shall operate valves and install taps on the Hayward Water System"
4. Add to the plans the note "Water & Sewer services are available and subject to the City of Hayward's standard conditions and fees in effect at the time of application and payment of fees."

**CITY OF HAYWARD
INDUSTRIAL/COMMERCIAL SANITARY SEWER CONNECTION FEE**



A. APPLICANT INFORMATION

Applicant Name _____ Owner/Applicant/Other _____
 Mailing Address _____ City _____ State _____ Zip Code _____
 Telephone _____ Cell Phone _____
 Fax _____ E-mail _____

B. FACILITY INFORMATION

Owner Name (if different from applicant) _____
 Facility Address _____ City _____ State _____ Zip Code _____
 New Construction Y N Remodel of Existing Facility Y N
 Previous Use(s) if known _____ Bldg Size (sq ft) _____

C. BUSINESS INFORMATION

Description of Business _____
 No. of Employees _____

D. FOR FOOD SERVICE ESTABLISHMENTS ONLY (Restaurants and Other Food-Related Businesses)

Type of Food _____
 Under-Sink Grease Trap Y N In-Ground Grease Interceptor Y N
For Restaurants Only: Est. No. of Customers Per Day _____ No. of Seats _____
 Est. No. of Meals Per Day (incl. take-out) _____ Disposable Dishes/Utensils Y N

E. APPLICANT'S ACKNOWLEDGEMENT

I acknowledge that the information provided is accurate to the best of my knowledge. I further acknowledge that the total sewer connection fee, as calculated by the City, must be paid to the City before the facility is connected to the public sanitary sewer system (if new connection) or before wastewater is discharged to the public sanitary sewer system (if existing connection). I understand that estimated wastewater discharge is based on information provided and that additional sewer connection fees must be paid, at rates in effect at the time of payment, if wastewater discharge exceeds the volume and strength shown in Part F, subject to availability of capacity.

Applicant's Signature _____ Date _____

F. WASTEWATER DISCHARGE ESTIMATES/SEWER CONNECTION FEE (to be completed by City)

Wastewater Volume (avg. gpd) _____
 CBOD (avg. mg/L) _____ Suspended Solids (avg. mg/L) _____
 Sewer Connection Fee/Gallon Daily Discharge _____ Total Sewer Connection Fee _____

G. FOR CITY USE ONLY

Sewer Connection Fee Paid On _____ Water Service Application No. _____
 Received by _____



10 Rollins Rd. Suite 217, Millbrae, CA. 94030
Tel. (650) 444-5374 Fax (650) 444-5374

May 16, 2012

Ms. Alexandra Sepulveda

City of Hayward
Building Inspection Department
777 "B" Street
Hayward, CA 94541

Permit No.: B1-2012-1265
Project Address: 22380 Foothill Blvd
ASI Job No.: 12135-1

Re: Remodeling Commercial Building

**STATUS: Architectural - Resubmit
Structural - Resubmit
Mechanical - Approved
Electrical - Approved
Plumbing - Approved**

We have reviewed following items:

1. Architectural Drawings by Lary Hulse
Sheets : A0 thru A14 dated 03-28-12

2. Architectural Drawings by Gi Paoletti Design Lab
Sheets : A.0 dated 06-24-11 with Revision 1 dated 02-27-12
A-0.1 dated 06-24-11 with Revision 1 dated 02-27-12
A-1 dated 06-24-11 with Revision 1 dated 02-27-12
A-2 dated 06-24-11 with Revision 1 dated 02-27-12
A-3 dated 06-24-11 with Revision 1 dated 02-27-12
D-1 dated 06-24-11 with Revision 1 dated 02-27-12
D-2 dated 06-24-11 with Revision 1 dated 02-27-12

3. T-24 Report by LMR Consulting Mechanical Engineers
Dated 04-19-12

4. Structural Drawings by Sung Engineering, Inc.
Sheets : STD1 dated 04-23-12
STD2 dated 04-23-12
STD3 dated 04-23-12
S1 thru S5 dated 04-23-12

5. Structural Calculations by Sung Engineering, Inc.
Dated 04-11-12

6. Electrical Drawings by BRK Associates, Inc.

**Sheets : E0.1 dated 04-02-12
E1.1 dated 04-02-12
E3.1 thru E3.3 dated 04-02-12
E4.1 thru E4.4 dated 04-02-12
E5.1 thru E5.6 dated 04-02-12
E6.1 thru E6.4 dated 04-02-12
E7.1 thru E7.2 dated 04-02-12**

7. Mechanical Drawings by LMR Consulting Mechanical Engineers

**Sheets : MT1 thru MT4 dated 03-30-12
M2 dated 03-30-12
M4 dated 03-30-12
M5 dated 03-30-12
M6 dated 03-30-12**

8. Plumbing Drawings by LMR Consulting Mechanical Engineers

Dated P4 dated 03-30-12

REMARKS:

Architectural :

- 1. All sheets of final plans and documents submitted including subsequently corrected and revised plans need the wet signature of architect/designer who is responsible for the preparation of the plans and/or any documentation. Copied or reproduced signature is not acceptable**
- 2. Clearly indicate required occupancy separation and fire resistive assemblies.**
- 3. Provide required fire resistive assemblies at stairs and space beneath the stairs.**
- 4. Provide required fire resistive assemblies at corridors in accordance with CBC Sec 1018.**
- 5. Provide a list of Deferred submittal on Sheet A0, including elevator and stairs.**
- 6. Provide urinal partitions in all building restrooms using urinals to provide privacy.**
- 7. Accessible Path of Travel :**
 - a. Show accessibly paths of travel from public sidewalk/accessible parking stall(s) to the building entrance(s) along with maximum slope of 5%; and cross slope of 2%.**
 - b. Show location of all curb ramps/truncated domes within the accessible paths of travel.**
 - c. Add note to plans : "Existing site fully comply with T-24; and subject to field verification".**
- 8. Document that stairways are in compliance with CBC. Sec. 1009.**
- 9. Provide handrails at stairways in accordance with CBC. Sec. 1012.**

10. Document that stair enclosure is in compliance with CBC. Sec. 1022.
11. Sheet A0 : The floor area exceeds the allowable area specified per CBC Table 503.
Provide area separation walls as required.
12. Provide minimum two exits from Second Floor per CBC Sec 1021.
13. Please document that exit widths are in compliance with CBC. Sec. 1005.1.
14. Opening through the floors, including elevator shall be protected in accordance with CBC Sec. 708.
15. Provide posting of occupant load per CBC. Sec. 1004.3.

Structural :

16. Provide calculations / evaluate new openings at concrete walls.
17. Provide framing and calculations at new stairs and Second floor framing plan.
18. Evaluate existing lateral resisting system due to additional load from new storage and offices on Second floor.

If you have any questions regarding the above comments, please call **Amir Shahmirza**, Structural Engineer at **(650) 444-5374**.



10 Rollins Rd. Suite 217, Millbrae, CA. 94030
Tel. (650) 444-5374 Fax (650) 444-5374

July 20, 2012

Ms. Alexandra Sepulveda

City of Hayward
Building Inspection Department
777 "B" Street
Hayward, CA 94541

Permit No.: B1-2012-1265
Project Address: 22380 Foothill Blvd
ASI Job No.: 12135-2

Re: Remodeling Commercial Building

STATUS: Architectural – Resubmit

Title 24 – Approved
Structural - Approved
Mechanical - Approved
Electrical - Approved
Plumbing - Approved

We have reviewed following items:

1. Architectural Drawings by Lary Hulse – Drafting Service
Sheets : A0 thru A14 dated 06-27-12 with Revision 1 dated 05-21-12
2. Architectural Drawings by Gi Paoletti Design Lab
Sheets : A.0 dated 08-20-11 with Revision 1 dated 02-27-12
A-0.1 dated 06-24-11 with Revision 1 dated 02-27-12
A-1 dated 06-24-11 with Revision 2 dated 05-21-12
A-2 dated 06-24-11 with Revision 2 dated 05-21-12
A-3 dated 06-24-11 with Revision 2 dated 05-21-12
D-1 dated 06-24-11 with Revision 1 dated 02-27-12
D-2 dated 02-14-11 with Revision 1 dated 02-27-12
3. Architectural Drawings (Kitchen) by East Bay Kitchen Design Consultants
Sheets : FS1 thru FS7 dated 03-23-12
4. Kitchen Hood Detail by Captive Air
Sheets : H1 dated 02-27-12
5. T-24 Report by LMR Consulting Mechanical Engineers
Dated 04-19-12

6. Structural Drawings by Sung Engineering, Inc.
Sheets : STD1 dated 04-23-12 with Revision 1 dated 07-06-12
STD2 dated 04-23-12 with Revision 1 dated 07-06-12
STD3 dated 04-23-12
S1 thru S5 dated 04-23-12 with Revision 1 dated 07-06-12
7. Structural Details (8.5"x11") by Sung Engineering, Inc.
Sheets : 2 pages received by Building Department dated 07-11-12
8. Structural Calculations by Sung Engineering, Inc.
Dated 11-23-12 with Revision 1 dated 07-06-12
9. Electrical Drawings by BRK Associates, Inc.
Sheets : E0.1 dated 04-02-12
E1.1 dated 04-02-12
E3.1 thru E3.3 dated 04-02-12
E4.1 thru E4.4 dated 04-02-12
E5.1 thru E5.6 dated 04-02-12
E6.1 thru E6.4 dated 04-02-12
E7.1 thru E7.2 dated 04-02-12
10. Mechanical Drawings by LMR Consulting Mechanical Engineers
Sheets : MT1 thru MT4 dated 03-30-12
M2 dated 03-30-12
M4 dated 03-30-12
M5 dated 03-30-12
M6 dated 03-30-12
11. Plumbing Drawings by LMR Consulting Mechanical Engineers
Dated P4 dated 03-30-12

REMARKS:

Architectural :

1. **Previous Item #1 :** *All sheets of final plans and documents submitted including subsequently corrected and revised plans need the wet signature of architect/designer who is responsible for the preparation of the plans and/or any documentation. Copied or reproduced signature is not acceptable*
Including all Architectural (A# , FS# and H#) Sheets.
2. **Previous Item #2 :** *Clearly indicate required occupancy separation and fire resistive assemblies.*
It appears that there is a one hour occupancy separation along Line 5 (as indicated on plan). The opening including the double door shall be fire rated to match the required separation. Occupancy separation shall continue through the second floor as required.

7. **Previous Item #7: Accessible Path of Travel :**

- a. Show accessible paths of travel from public sidewalk/accessible parking stall(s) to the building entrance(s) along with maximum slope of 5%; and cross slope of 2%.
- b. Show location of all curb ramps/truncated domes within the accessible paths of travel.
- c. Add note to plans : "Existing site fully comply with T-24; and subject to field verification".

Curb ramp may have a slope of 5%, but maximum slope of parking and loading and unloading area shall not be greater than 2%. Revise note on Sheet A-12.

8. **Previous Item #8 :** Document that stairways are in compliance with CBC. Sec. 1009. Provide detail or clearly specify the required dimensions of stairs and stair landing.

9. **Previous Item #9:** Provide handrails at stairways in accordance with CBC. Sec. 1012. Provide detail or clearly specify required dimensions for handrails.

13. **Previous Item #13:** Please document that exit widths are in compliance with CBC. Sec. 1005.1.

Clearly provide a diagram with maximum number of occupant at each area per table 1004.1.1 CBC. to determine the required width of exit.

14. **Previous Item #14:** Opening through the floors, including elevator shall be protected in accordance with CBC Sec. 708.

Provide detail and please "Key" details on plan for required fire rated assemblies. Including all doors and openings.

15. **Previous Item #15:** Provide posting of occupant load per CBC. Sec. 1004.3.

Provide specifications and indicate location of required signage.

16. Clearly indicate distances and the width of public ways for calculating the allowable area shown on Sheet A0. Also no increase permitted due to fire sprinkler if the building is only partially equipped, or if the sprinkler system is required. Revise as required.

If you have any questions regarding the above comments, please call **Amir Shahmirza**, Structural Engineer at **(650) 444-5374**.



Address: 30782 Huntwood Avenue (Wisoman Foods)

Job Description: 2 (n) restrooms, new a/c in new office area, new walls, build ceiling in break room. Per Glen M and DB, refrigerator and equipment TO BE DEFERRED. Shares plans with BI-2012-2238 (trash enclosure) *INCLUDES ALL SUBS*

Project Representative: Wayne Fabrizio, Balch Enterprises

Permit Number	Application Submittal Date	Number of Plan Check Review Rounds	Issued Date	Finalled Date
BI-2012-2238	8/20/2012	3	12/5/2012	Pending



Development Services Department

Building Division

777 B Street, Hayward, CA 94541-5007

TEL 510-583-4140 FAX 510-583-3642 TDD 510-247-3340

1st Punchlist

Building Permit Number: BI-2012-2238

Job Address: 30782 Huntwood Av.

Reviewed By: Stan Morris **Phone Number:** 510-583-4183

Type of Review: arch, energy

Date: 8/28/2012

Proposed Work: 2 (n) restrooms, new a/c in new office area, new walls, build ceiling in break room. Also trash enclosure. Per Glen and DB, refrigerator and equipment to be deferred. Health Dept receipt rec'd.

REDLINES: Yes No

Attachments: Yes No COH Article 22 Green Bldg.

COMMENTS - This plan check is not to be construed as an approval for any code items not noted, or commented on. It is the contractor's responsibility to conform to the provisions of all relevant laws, codes, ordinances, rules and regulations. Work shall not commence without approved plans unless specifically allowed by the Building Official. All inspections require the "APPROVED" job copy and job card to be available on the job site.

1. Add the "S" occupancy warehouse to type of occupancies on page A1.0.
2. *If a walk crosses or adjoins a vehicular way, and the walking surfaces are not separated by curbs, railings or other elements between the pedestrian areas and vehicular areas, the boundary between the areas shall be defined by a continuous detectable warning which is 36 inches (914 mm) wide, complying with Section 1121B.3.1, Item 8(a), 1133B.8.5 Detectable warnings at hazardous vehicular areas.* Provide detectable warnings where the exterior accessible walk enters the parking area.
3. *Space between two doors in a series shall be 48 inches (1219 mm) minimum plus the width of a door swinging into the space. Doors in a series shall swing either in the same direction or away from the space between the doors. 1008.1.8 Door arrangement.* Correct the distance between doors #22 and existing door to stair #2.
4. Clarify what is the small circle at the push side landing of door #24 and within the egress path of travel to door #4?
5. Interior doors # 24, 23 and exterior door #4 will need panic hardware. 2010 CEC article 110.26 (A)(3)
6. Provide locations of and details for Tactile Exit Signs to comply with Section 1011.3 of the 2010 CBC.
7. Landings shall have a width not less than the width of the stairway or the door, whichever is greater. Doors in the fully open position shall not reduce a required dimension by more than 7 inches (178 mm). When a landing serves an occupant load of 50 or more, doors in any position shall not reduce the landing to less than one-half its required width. Landings shall have a length measured in the direction of travel of not less than 44 Inches (1118 mm).

1008.1.6 Landings at doors. Re: door #24, dimension the landing, (E) door to stair #2 swings into landing of door #22

8. *Means of egress* are not prohibited through adjoining or intervening rooms or spaces in Group F occupancy when the adjoining or intervening rooms or spaces are the same or a lesser hazard occupancy group. Re: F occ. egress through electrical equipment closet with equipment rated 1,200 amperes or more.
9. Doors shall swing in the direction of travel when serving an occupant load of 50 or more persons. CBC1008.1.2 Occupant load of work/line #30 is 97. From code commentary: "A side-hinged door must swing in the direction of egress travel where the required occupant capacity of the room is 50 or more. As such, a room with two doors and an occupant load of 99 would require both doors to swing in the direction of egress travel, even though each door has a calculated occupant usage of less than 50."
10. At Door #24, show compliance for push side approach to a door per Ch 11B and your detail 7/Acc.
11. We cannot plancheck or issue a permit for future items. Remove reference to future, lockers if required, & 4 count, 0.50 MBTU "future gas radiant heater" page M-1, future line(s), etc.
12. Clarify wall section location and details for wood stud wall W2i per wall/partition key page A3.3.
13. Include on the plans, the Suspended Ceiling General Notes below, or provide plans and detail that show compliance with same.
14. Show R-values and locations of insulations at the plan details where insulation is required by the energy report. See excerpt from energy stds. below. Section 118
15. **CONDITIONED SPACE, DIRECTLY** is an enclosed space that is provided with wood heating, is provided with mechanical heating that has a capacity exceeding 10 Btu/hr-ft², or is provided with mechanical cooling that has a capacity exceeding 5 Btu/hr-ft², ... 2008 energy Stds. Clarify: on page A3.1, Work/Line Area #30 shows as 9,700 ft² unconditioned space at (97,000 Max Btu/hr heating) and this area is included in the Env. energy report as conditioned space.
16. Provide manufacturers cut sheets or listing by approved testing agency showing flame spread and smoke development for curtains A, B, & F.
17. See section 116 of the 2008 energy standards for door and window openings in demising walls separating conditioned and unconditioned space. re: Curtains "A" and "F".
18. **NEWLY CONDITIONED SPACE** is any space being converted from unconditioned to directly conditioned or indirectly conditioned space. Newly conditioned space must comply with the requirements for an addition. Show the newly conditioned space as addition in the energy report.
19. Provide Tag/ID numbers on the plans to match Tag/ID numbers listed in the energy report. Show the roof height at opaque Tag/ID^s. Are there any glazing areas that should be modeled in the report?
20. Per the submitted Envelope Energy Report, provide locations of DCV sensors on the plans and list DCV in equipment schedules. Provide manufacturers cut sheets showing use of DCV with the scheduled HVAC and heating equipments. The column "Test Performed By" on MECH-1C page 14 of 19 of the energy report must be completed. Designate who will do the required testing for items checked on MECH-1C part 3 of 4 and part 4 of 4 pages 13 and 14 of the report.
21. The energy lighting report indicates the commercial food line is a kitchen/food preparation area. Work Line #30 more closely matches the energy standards definition for general commercial work/Low bay with maybe some Precision areas. FYI : For spaces employing this allowance, the plans shall clearly identify all task spaces using these tasks and the lighting equipment designed to illuminate these tasks.(2008 Energy Stds.) Area #30 is conditioned area and the lighting

report shows it as unconditioned space. The lighting report includes the 27 fixtures in the 7000 ft² warehouse in the conditioned space category. The electrical plan's light fixture schedule, legend, Tag/ID and fixture count; need to be clearly indicated for energy report verification. Verify the areas shown in the lighting report are correct. New Gowning Rm. #15 more closely matches the energy standards Locker/dressing room area category with allowed W/ft² of 0.8, Table 146-F. Clarify/correct the plans and Energy Lighting Report.

22. Additions or Tenant Improvements to existing commercial buildings entailing 1,000 square feet or more of new or remodeled space and where at least half of the light fixtures are new or replaced, one of the following must be met: (see attached Article 22)
- a. The lighting load for such fixtures shall be reduced by at least 15% below the requirements of the 2008 Building Energy Efficiency Standards (Title 24, Part 6) of the California Building Code, or
 - b. Comply with the requirements of Title 24, Part 6 and meet the California Green Building Standards Section A5.211.1 requirements by providing at least 1% or 1kw (whichever is greater) of the electrical power from a renewable source, or
 - c. Demonstrate an overall energy budget reduction of at least 5% below the requirements of Title 24, Part 6 using the performance method.

SECTION 118 – MANDATORY REQUIREMENTS FOR INSULATION AND ROOFING PRODUCTS

(e) Placement of roof/ceiling insulation. Insulation installed to limit heat loss and gain through the top of conditioned spaces shall comply with the following:

1. Insulation shall be installed in direct contact with a continuous roof or ceiling which is sealed to limit infiltration and exfiltration as specified in Section 117, including but not limited to placing insulation either above or below the roof deck or on top of a drywall ceiling; and
2. When insulation is installed at the roof in nonresidential buildings, fixed vents or openings to the outdoors or to unconditioned spaces shall not be installed and the space between the ceiling and the roof is either directly or indirectly conditioned space and shall not be considered an attic for the purposes of complying with CBC attic ventilation requirements; and
3. Insulation placed on top of a suspended ceiling with removable ceiling panels shall be deemed to have no effect on envelope heat loss; and

EXCEPTION to Section 118(e) 3: When there are conditioned spaces with a combined floor area no greater than 2,000 square feet in an otherwise unconditioned building, and when the average height of the space between the ceiling and the roof over these spaces is greater than 12 feet, insulation placed in direct contact with a suspended ceiling with removable ceiling panels shall be an acceptable method of reducing heat loss from a conditioned space and shall be accounted for in heat loss calculations.

4. Insulation shall be installed below the roofing membrane or layer used to seal the roof from water penetration unless the insulation has a maximum water absorption of 0.3 percent by volume when tested according to ASTM Standard C 272.

(f) Demising Walls in Nonresidential Buildings. The opaque portions of framed demising walls in nonresidential buildings shall be insulated with an installed R-value of no less than R-13 between framing members.

Suspended Ceiling General Notes (Based on the 2010 CBC & ASCE 7-05, Section 13.5.6.2.2)

- Ceiling area greater than 1,000 square feet must have lateral force bracing.
- Main beams and cross tees must be supported within 8 inches of each wall with 12-gauge wire or approved wall support.
- A strut is to be attached to the suspension system and to the structure above at each bracing.
- Rigid bracing may be used instead of diagonal splay wires. Rigid bracing must limit ceiling movement to less than ¼" at the point of attachment. (Splay wire bracing is clusters of four wires attached to the main beam within 2-inches of a cross tee intersection.)

- Horizontal restraint points are to be located no more than 12 feet on center in each direction, and the first point within 6-feet of each wall.
- Attachment of the bracing wires to the main beam and the structure should support the greater of 200 pounds or the actual design load with a safety factor of two.
- Heavy-duty grid system required.
- Minimum 2-inch wall molding required.
- Gird must be attached to two adjacent walls—opposite walls must have a ¾" clearance.
- Ceilings over 2500 square feet must have seismic separation joints or full height partitions.
- Ceilings without rigid bracing must have a 2-inch oversized trim ring for sprinklers and other penetrations.
- Changes in the ceiling plane must have positive bracing.
- Cable trays and electrical conduits must be independently supported and braced.
- If partitions are attached to the suspending system, they must be laterally braced to the building structure.
- Vertical hanger wires are to be:
 - Not more than 4 feet on center
 - Must not hang more than 1 in 6 out-of-plumb
 - Tied with three turns in 3 inches
- Pendant mounted fixtures must be supported from the structure. They may not use the ceiling suspension system for support.
- Light fixtures must be positively attached to the suspended system. Attached device must be able to withstand 100% of the fixture weight.
- If light fixture is 56 pounds or less, must have two 12-gauge wires attached at diagonal corners. If more than 56 pounds, must be independently supported from the building structure.

Due to the difficulty of anticipating every unsatisfactory condition that might exist in connection with the existing facility where alteration work is proposed, the following clause or one of similar meaning should be included in the specifications or in the general notes:

The intent of the drawings and specifications is to modify the facility for accessibility in accordance with Title 24, California Code of Regulations. Should any conditions develop not covered by the contract documents such that the finished work will not comply with said Title 24, California Code of Regulations, a change order detailing and specifying the required work shall be submitted to and approved by the Authority Having Jurisdiction before proceeding with the work.



Development Services Department

Building Division

777 B Street, Hayward, CA 94541

TEL 510-583-4140 FAX 510-583-3642 TDD 510-247-3340

1st Punchlist

Building Permit Number: #bl-2012-2238
Job Address: 30782 Huntwood Ave.
Type of Review: Electrical
Reviewed By: Gary Nordahl
Phone Number: (510)-583-4153
Date Reviewed: 8-28-12
Proposed Work: Tenant Improvement

This correction punchlist is not to be construed as an approval for any code items not noted, or commented on. It is the contractor's responsibility to conform to the provisions of all relevant laws, codes, ordinances, rules and regulations. Work shall not commence without approved plans unless specifically allowed by the Building Official. All inspections require the "APPROVED" job copy and job card to be available on the job site.

- 1) Provide the short circuit current rating of the electrical service in a letter from P.G. &E. The panelboard(s) and/or circuit breakers shall meet or exceed the S.C.C. rating. A point-to-point ground-fault and short-circuit calculations may be required to substantiate the ratings of the electrical equipment.
- 2) Identify any hazardous (classified) locations per Art. 500 of the 2010 C.E.C. Also add note to E-0;

All electrical equipment installed in Hazardous locations shall be listed & identified for use within those areas, and shall be installed per Chapter 5 of the 2010 C.E.C.

E-0 Add note: The means of egress illumination level shall not be less than 1 foot-candle (11 lux) at the walking surface level. In the event of power supply failure, an emergency electrical system shall automatically illuminate the following areas:

1. Aisles and unenclosed egress stairways in rooms and spaces that require two or more means of egress.
2. Corridors, exit enclosures and exit passageways in buildings required to have two or more exits.
3. Exterior egress components at other than the level of exit discharge until exit discharge is accomplished for buildings required to have two or more exits.
4. Interior exit discharge elements, as permitted in Section 1024.1, in buildings required to have two or more exits.
5. Exterior landings, as required by Section 1008.1.5., for exit discharge doorways in buildings required to have two or more exits.

The emergency power system shall provide power for duration of not less than 90 minutes and shall consist of storage batteries, unit equipment or an on-site generator.

The installation of the emergency power systems shall be in accordance with Section 2702



Public Works Department
 Solid Waste Program
 777 B Street, Hayward, CA 94541-5007
 TEL (510) 583-4725 FAX (510) 583-3610

Standard Conditions of Approval

1st Punchlist

Project Number: BI-2012-2238 & 2239

Project Address: 30782 Huntwood Ave

Contact: Wayne Fabrizio for Balch Enterprises

Reviewed By: Jamaica Thacker for Vera Dahle-Lacaze

Date: August 31, 2012

Proposed Work: Alterations to accommodate Wisoman Foods and trash enclosure.

Applicants must comply with these Standard Conditions to obtain a building permit. This document describes the information required on the site plans regarding the storage and removal of all trash and recyclables that will be generated upon occupancy.

Plan check is not to be construed as an approval for any code items not noted, or commented on. It is the contractor's responsibility to conform to the provisions of all relevant laws, codes, ordinances, rules and regulations.

- ✓ Federal law requires a roof on outdoor trash enclosures where food or other organics is generated for disposal (Federal Clean Water Act). For questions about the requirement for a roof on enclosures, please contact Jim Lear, Public Works Engineering & Transportation at (510) 583-4785.
- ✓ City regulations require that all businesses subscribe to at least weekly garbage service. Businesses may subscribe to service for as many as six days per week.
- ✓ Adequate indoor and outdoor storage space for recyclables is required by state law (California Public Resources Code 42910-42912 and Hayward Municipal Code 5-1.27).
- ✓ For all other questions, please call (510) 583-4725 or email vera.dahle-lacaze@hayward-ca.gov.

**STANDARD CONDITIONS OF APPROVAL FOR SOLID WASTE
 COMMERCIAL CONSTRUCTION AND DEMOLITION PROJECTS**

Section	Provisions	Approved	Unresolved	Waived/Deferred
1	Container Capacity See page 2	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
	Storage Space See page 2	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2	Enclosure Design	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3	Collection Vehicle Access See page 3	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4	Construction & Demolition Debris Recycling Requirements See C&D Packet	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Section 1: Container Capacity and Storage Space

1. Indicate on the site plan the size, number, and type of containers for garbage, recycling, and organic materials, e.g., food waste from restaurants and food processors.

Outdoor storage for garbage, recyclables, and organic materials may be in separate enclosures or one combined enclosure, with space for individual containers for garbage, recyclables and organic materials. The minimum container capacity required for weekly garbage collection must be calculated as follows:

Formula to Determine Minimum Garbage Container Capacity in Cubic Yards	
__ # of employees x 69 lbs. of garbage generated per employee/week (table below) + 150 =	__ CY/week

The number of employees may be an estimate. This formula must be included on the site plan, along with the container size(s) and enclosure dimensions.

The available container sizes and their dimensions are as follows (Note: Four cubic yard bins are the largest bins with casters and are the largest bins allowed in an enclosure):

Carts	Width	Depth	Height	Service* Available
20 & 32 gallons	22 inches	25 inches	41 inches	Garbage
64 gallons	28 inches	30 inches	43 inches	Garbage / Organics
96 gallons	30 inches	36 inches	47 inches	Garbage/Organics/ Recycling
Bins				
1 cubic yard (~200 gallons)	7 feet	3.5 feet	4 feet	Garbage/Organics/ Recycling
2 cubic yards	7 feet	3.5 feet	4.5 feet	Garbage/Organics/ Recycling
3 cubic yards	7 feet	4 feet	5 feet	Garbage/Organics/ Recycling
4 cubic yards	7 feet	5 feet	5.5 feet	Garbage/Recycling
6 cubic yards (no wheels)	7 feet	6.5 feet	6 feet	Garbage/Recycling
7 cubic yards (no wheels)	7 feet	7 feet	6 feet	Garbage/Recycling
Roll-off Boxes				
6 cubic yards	7 feet	12 feet	2 feet	Garbage
14 cubic yards	7.5 feet	12 feet	5.5 feet	Garbage
20 cubic yards	7.5 feet	14 feet	5.5 feet	Garbage
30 cubic yards	8 feet	22 feet	5 feet	Garbage
40 cubic yards	8 feet	22 feet	7.5 feet	Garbage
Compactors				
20 cubic yards	7.5 feet	20 feet	7 feet	Garbage
30 cubic yards	7.5 feet	20 feet	7.5 feet	Garbage
40 cubic yards	8 feet	22 feet	7.5 feet	Garbage

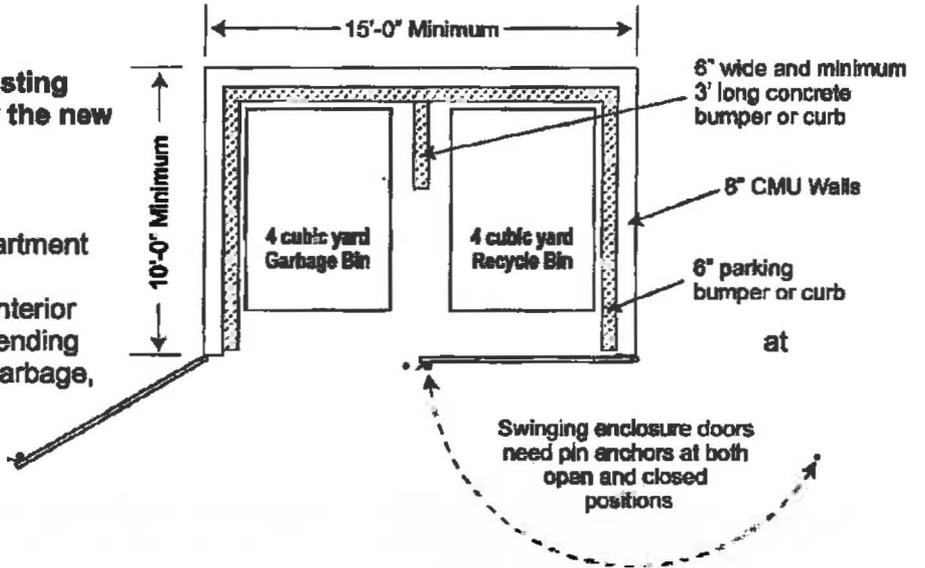
- Applicant must indicate on the site plan the existing and/or proposed outdoor enclosure(s) for tenants' storage of trash and recyclables. Please indicate whether the outdoor containers and enclosure will be shared with other businesses. Site plans must clearly indicate that the space provided for indoor and outdoor storage of recyclables is the same size or larger as that provided for garbage (Hayward Municipal Code 5-1.27)

Section 2: Enclosure Design

Trash Enclosure for 4 cubic yard Garbage and Recycle Bins

Enclosure Specifications

- Please provide photos of the existing canopy that is intended to cover the new trash enclosure.
- 8" CMU walls or fencing, or other requirements set by Planning Department
- 6" wide curb or bumper along the interior perimeter of the enclosure and extending least three feet long between the garbage, recycling, and/or organics bins
- A minimum space of 12 inches between containers and the walls of the enclosure to allow for maneuvering the containers



- Gates that hinge from the corners of the enclosure to allow for maximum accessibility to the containers
- Enclosures must be constructed on a flat area with no more than a 2% grade
- If the existing or new business will generate organics for disposal, a roof over the enclosure is required. (National Pollution Discharge Elimination System, Federal Clean Water Act). For questions, contact Jim Lear at 583-4785.

- A concrete pad extending 20' from the enclosure to accommodate for truck weight is recommended.
- Signage indicating "Garbage Only" on one side of the enclosure and "Recyclables Only" on the other. If an organics bin is planned for, signage indicated "Organics" is required.

Trash Enclosure Dimensions	
Bin Capacity	Depth x Width
1 cubic yard bins	10 ft x 10 ft
2 cubic yard bins	10 ft x 12 ft
3 cubic yard bins	10 ft x 12 ft
4 cubic yard bins	10 ft x 15 ft

- If a compactor will be used or if washing inside the trash enclosure is planned, a drain inlet connected to the sanitary sewer line is required. If the compactor is proposed for a below-grade loading area, the minimum loading height is 30 feet. For questions about these requirements, contact Jim Lear at (510) 583-4785.

11. If the proposed development does not have confirmed tenants (i.e. a speculative development), City staff reserves the right to revise the enclosures constructed by the applicant to include more enclosures and/or to revise the dimensions of the constructed enclosures as individual tenants submit their plans.

Section 3: Collection Vehicle Access

1. Dashed lines indicating the collection vehicles' path of travel to enter the property, service each container, and exit are required. For safety reasons, a 40-foot turning radius or turnaround is required for any street that would otherwise require the collection truck to back up a distance greater than 150 feet.
2. If collection vehicles must enter or exit under a gate, it must be at minimum 14 feet.
3. If gates with locks are planned to limit access to the property, the applicant must provide keys or cards to the service provider, Waste Management of Alameda County (510) 537-5500. Keys and locks may also be obtained from Waste Management for a nominal fee.
4. Compactors must be positioned to allow for a back up distance of three times the length of the compactor in order to service it. The back-up distance must extend straight ahead from the end of the compactor unit. Dashed lines indicating the collection vehicle's path of travel to service the compactor is required. If a compactor is proposed for a below-grade loading area, the minimum loading height is 30 feet.

Section 4: Construction and Demolition Debris Recycling Requirements

For all projects with a valuation in excess of \$75,000, the applicant must submit for review by Solid Waste Program staff a *Construction and Demolition Debris Recycling Statement*, a *Construction and Demolition Debris Recycling Summary Report*, and weigh tags for all materials disposed during the entire term of the project. These forms and other detailed information are included in the Construction and Demolition Recycling Packet.

City of Hayward
CONSTRUCTION & DEMOLITION DEBRIS RECYCLING STATEMENT
 Complete this form with estimated quantities of materials at the BEGINNING of the project

To obtain a building permit, applicant is required to submit this form for review by Solid Waste Program staff. A separate form must be submitted for each phase of the entire demolition and construction project. City regulations require that all asphalt/concrete and 50% of all other materials generated during demolition and construction must be recycled. Keep all weigh tags documenting tons recycled or landfilled, as they are required at the end of the project. Call (510)583-4725 if you have questions. A completed form may be faxed to (510) 583-3610 for review.

Project Name/Address: WISUMAN FLOORS - 30182 HUNTHOOD AVE
 Building Permit # _____ Type of Project: Demolition Construction
 Contact Name: WAYNE FABRIZIO Phone & Fax: 510-424-4400 510-424-4960 FAX
 Anticipated start and completion dates: AUG 20, 2012 -- DEC 20, 2012

Please indicate estimated quantities by material, the proposed processing method(s) and the vendor selected.

Material	Estimated Tons or Cubic Yards			Hauler(s) or Facilities
	To Be Recycled	To Be Salvaged	To Be Landfilled	
Asphalt/Concrete (recycle 100%)	2 TONS	---	Not Appl.	WASTE MANAGEMENT OF ALABAMA COUNTY CO- ZALKER ROAD PROCESSING FACILITY
Bricks (whole)	---	---	---	
Building Materials (doors, fixtures, etc.)	---	---	---	
Cardboard (flattened, loose)	---	---	---	
Carpet (padding & foam)	---	---	---	
Dirt & Clean Fill	---	---	---	
Drywall (scrap)	---	---	0.5 TONS	WASTE MANAGEMENT OF FERRARA CORPORATION
Film Plastic & Styrofoam Blocks	---	---	---	
Plant & Tree Trimmings (large limbs & stumps)	---	---	---	
Plate Glass (non-container)	---	---	---	
Scrap Metal	---	---	---	
Tires	---	---	---	
Wood & Pallets	---	---	---	
Mixed Construction & Demolition Materials (including roofing, wallboard and film plastic)	1 TON	Not Appl.	Not Appl.	WASTE MANAGEMENT OF FERRARA CORPORATION
Garbage - Painted Wood / Trash	Not Appl.	Not Appl.		
TOTALS	3 TONS		0.5 TONS	

If no materials are targeted for recycling, reuse, or salvage, please state why on the reverse side of this form.

For City Use Only: Building Permit # DP2012-223639
 Approved 8/31/12 Not Approved _____
 Waived _____ Staff Initials JT for VDL



Department of Public Works

Utilities & Environmental Services

777 B Street, Hayward, CA 94541-5007

TEL (510) 583-4727 FAX (510) 583-3610

1st Correction Punchlist

Permit Number: BI-2012-2238
Applicant: Balch Enterprises
Job Address: 30782 Huntwood Avenue
Reviewed By: Alicia Sargiotto
Date: 09/06/12
Proposed Work: TI Wisoman Foods 2 (n) restrooms, new a/c in new office area, new walls, build ceiling in break room. Also trash enclosure. Health Dept receipt rec'd.

This document, including the corrective punchlist items and/or conditions below, is not to be construed as an approval for any code items not noted or commented on. It is the responsibility of the Owner/Developer/Contractor to conform to the provisions of all relevant laws, codes, ordinances, rules and regulations that are applicable to the project.

General Comments/Conditions:

1. Water & Sewer Service are available and subject to standard conditions and fees in effect at time of application and payment of fees:

- a. Water Services – The property is currently served by one 2" domestic meter (account # 60-13762.03), a 2" irrigation meter (account # 60-13760.03) and an 8" fire service (account # 60-13764.03). If the existing water service lines and meters cannot be reused, they must be abandoned by City Water Distribution Personnel at the owner's/applicant's expense.

Condition of Approval: Applicant's engineer shall provide the estimated water demand, in gallons per minute, for the entire operation so that the service line and meter can be appropriately sized.

Any modifications needed to the water services and/or water meters (upsized, downsized, relocate, etc.) must be performed by City crews at the owner's/applicant's expense.

- b. Sewer Service – The parcel currently has an existing commercial sewer service with a permitted discharge capacity of 210 gallons per day, with CBOD and SS concentrations of 307 mg/L and 258 mg/L respectively. Additional Sewer System Connection/Capacity to accommodate the volume and waste strength of wastewater to be discharged from the subject project must be purchased, at the rates in effect at the time of purchase, prior to discharge. **Additional information is needed from the owner/applicant to determine the amount of the fee.**

Please contact Water Pollution Source Control (WPSC) to obtain information on a Wastewater Discharge Permit application. As part of the permit application, information will need to be submitted regarding the wastewater discharge volume and strength from the business. Once the Wastewater Discharge Permit application has been submitted, the sewer system capacity fee can be calculated. Sewer system capacity to accommodate the volume and

waste strength of wastewater to be discharged will need to be purchased, at the rates in effect at the time of purchase, prior to discharge.

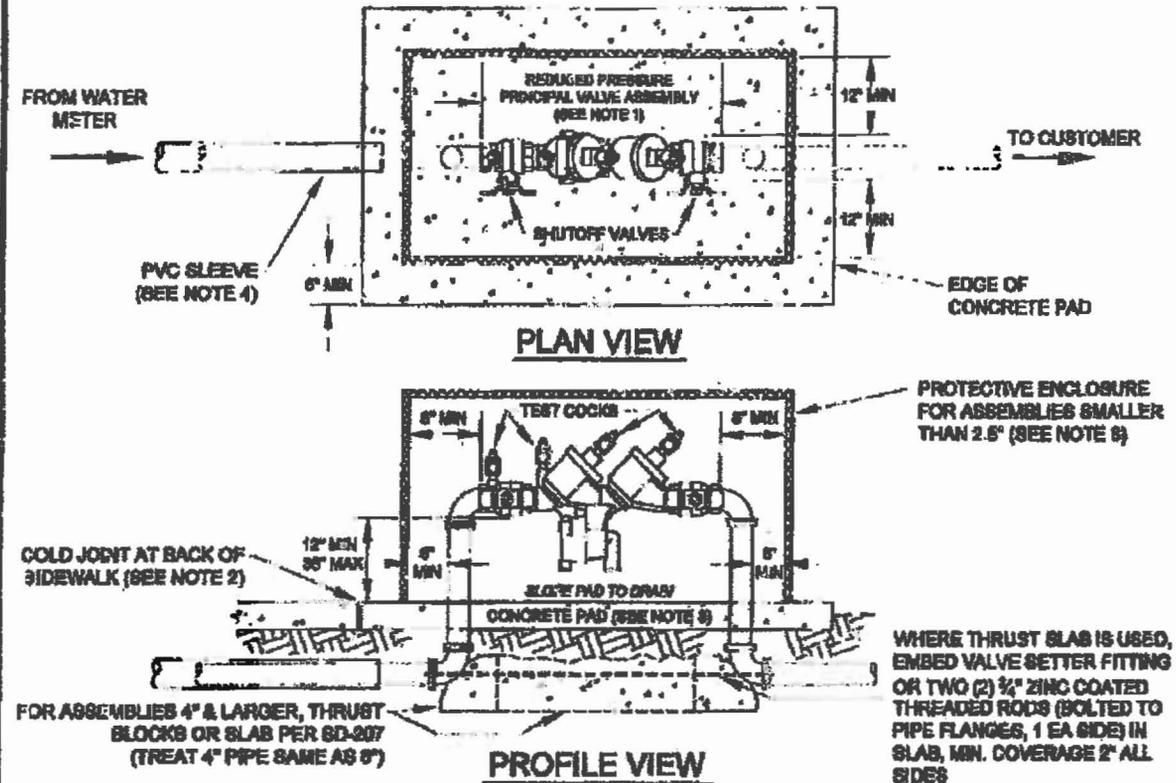
2. All domestic and irrigation services must be equipped Reduced Pressure (RP) Backflow Prevention Assemblies, per City of Hayward Standard Detail SD-202 (copy attached). City records indicate that the existing irrigation water service and the existing domestic service are both equipped with Double Check (DC) Valve Assemblies. The DC Valve Assemblies on the both the irrigation and the domestic services must be changed to RP Backflow Prevention Assemblies. Please contact the Cross Connection Control Specialist, Kathy Richards, at (510) 881-7965, once the backflow devices have been installed so that they can be inspected and tested.

Condition of Approval: Prior to Final Inspection/Approval, City Inspector shall confirm that both domestic and irrigation water services are equipped with Reduced Pressure Backflow Prevention Assemblies, per City of Hayward Standard Detail SD-202.

Complete the Following Items:

1. Applicant's engineer shall provide the estimated water demand, in gallons per minute, so that the service line and meter can be appropriately sized.
2. Contact Water Pollution Source Control, at (510) 881-7900 regarding the Wastewater Discharge Permit.
3. Provide information regarding the volume and waste strength of the wastewater that will be discharged from the proposed business, such as a water bill from an existing facility or a similar type of establishment, so that the sewer system capacity fee can be calculated.
4. Add to the plans the note "Only City Water Distribution Personnel shall operate valves and install taps on the Hayward Water System"
5. Add to the plans the note "Water & Sewer services are available and subject to the City of Hayward's standard conditions and fees in effect at the time of application and payment of fees."
6. Add to the plans the note "Sewer Capacity Fee Due and Payable Prior to Final Inspection".

**FOR IRRIGATION AND WATER SERVICES
 WHERE REQUIRED BY CCR, TITLE 17, § 7304**



NOTES:

1. ALLOWED BACKFLOW ASSEMBLIES AND THEIR ORIENTATIONS SHALL BE LIMITED TO THOSE SPECIFIED ON THE "LIST OF APPROVED BACKFLOW PREVENTION ASSEMBLIES," BY THE UNIVERSITY OF SOUTHERN CALIFORNIA'S FOUNDATION FOR CROSS-CONNECTION CONTROL AND HYDRAULIC RESEARCH, 2010 OR LATEST REVISION.
2. THE BACKFLOW DEVICE SHALL BE LOCATED: (A) A MAXIMUM OF 6' FROM BACK OF SIDEWALK (TYP.); (B) WHERE SCREENING IS REQUIRED, A MAXIMUM OF 30' FROM BACK OF SIDEWALK; OR (C) AT A LOCATION DETERMINED BY THE WATER DISTRIBUTION CROSS CONNECTION PERSONNEL IN THE FIELD.
3. CONCRETE PAD SHALL BE CLASS B CONCRETE, 4" MINIMUM THICKNESS, REINFORCED WITH WELDED WIRE MESH.
4. WHERE SERVICE LINES SMALLER THAN 4" PASS UNDER A SIDEWALK, THEY SHALL BE INSTALLED IN A PVC CASING/SLEEVE AT LEAST 1" LARGER THAN THE SERVICE LINE AND EXTENDS AT LEAST 6" BEYOND THE EDGES OF THE SIDEWALK.
5. METAL PIPES EXPOSED TO SOIL OR CONCRETE SHALL BE COATED WITH 3M SCOTCHWRAP PIPE PRIMER AND WRAPPED WITH 3M SCOTCHWRAP NO. 61 BLACK PVC TAPE (1/2" OVERLAP).
6. THE PORTION OF THE TRENCH FROM BACK OF METER TO THE DEVICE SHALL REMAIN OPEN UNTIL WATER DISTRIBUTION CROSS CONNECTION PERSONNEL HAVE INSPECTED AND APPROVED THE INSTALLATION.
7. THE TESTING SIDE OF THE DEVICE SHALL HAVE A MINIMUM 24" OF CLEARANCE FROM OBSTRUCTIONS (NON-TRIMMABLE LANDSCAPING, BUILDINGS, UTILITIES, ETC.). MULTIPLE BACKFLOW DEVICES SHALL BE SEPARATED BY A MINIMUM OF 15".
8. BACKFLOW ASSEMBLIES SMALLER THAN 2.5' SHALL BE COVERED WITH AN INSULATION BLANKET, MIN R-12, GREEN, WEATHERGUARD OR EQUAL AND PROTECTED BY A LOCKABLE WIRE CAGE ENCLOSURE FASTENED TO THE PAD. THE ENCLOSURE SHALL BE HINGED, POWDER COATED GREEN AND SECURED WITH A DOUBLE-LOOKED GALVANIZED CHAIN SUCH THAT EITHER LOCK CAN RELEASE THE CHAIN. ONE LOCK WILL BE SUPPLIED BY CITY.
9. BACKFLOW ASSEMBLIES 2.5' AND LARGER SHALL BE SECURED BY A DOUBLE-LOCKED, GALVANIZED, STRAIGHT LINK CHAIN THAT LOCKS THE VALVE HANDWHEELS IN THE OPEN POSITION AND EITHER LOCK CAN RELEASE THE CHAIN. ONE LOCK WILL BE SUPPLIED BY CITY. IN AREAS PRONE TO VANDALISM, CITY MAY ADDITIONALLY REQUIRE A LOCKABLE PROTECTIVE ENCLOSURE (SEE NOTE 8).
10. BOLLARDS MAY BE REQUIRED BY CITY TO PROVIDE ADDITIONAL PROTECTION (SEE 6D-223 FOR BOLLARD DETAIL).

<p>HAYWARD CITY OF HAYWARD PUBLIC WORKS DEPT.</p>			<p>STANDARD - REDUCED PRESSURE PRINCIPAL BACKFLOW PREVEN- TION ASSEMBLIES</p>	<p>PVC NO. SD-202</p>
<p>DATE: 8/16/2011</p>	<p>SCALE: NTS</p>	<p>REV: 1 of 1</p>		
<p>BY: [Signature]</p>	<p>DATE: [Signature]</p>	<p>DATE: [Signature]</p>	<p>DATE: [Signature]</p>	<p>DATE: [Signature]</p>



CITY OF HAYWARD * WATER DIVISION

BACKFLOW PREVENTION REQUIREMENTS

In accordance with the regulations of California Administrative Code, Title 17, no water service to any premises shall be installed or maintained by the City of Hayward Water System unless the public water supply is protected according to said State regulations and the requirements of the Hayward Water System.

Backflow prevention devices shall be required on each water service connection where any of the following conditions exist, or as required by the appropriate offices of the City of Hayward.

Please check any of the following that apply to your project

- (1) A well on property
- (2) Any connection to or access to an additional source of water, including stored water.
- (3) Any substance handled under pressure, including boilers
- (4) Any material or toxic substance dangerous to health
- (5) Any internal pressure boosting system
- (6) Irrigation systems, (except single family residences).
- (7) Fire System of Class III or Higher
- (8) Other condition that could be a danger to the public water system.

Please Type or Print

Service Address 30782 Huntwood Avenue Date 09/06/12

Huntwood Properties LLC
(Name)

30782 Huntwood Avenue
(Address)

Hayward, CA 94544
(City, St, Zip)

(415) 823-3217
(Phone & Fax No.)

By Water System:

Type of Backflow Prevention Device Required: REDUCED PRESSURE PRINCIPAL BACKFLOW

Water Service Number 32944 & 32945

Type of Service Irrigation & Domestic

(Applicant's Signature)

(BUSINESS)

(Title)



Hayward Public Works

Water Pollution Source Control

24499 Soto Road, Hayward, CA 94544

TEL 510-881-7900 FAX 510-881-7903

Correction Punchlist

Building Permit Number: bi-2012-2238
Tenant: Wisoman Foods
Job Address: 30782 Huntwood Avenue
Reviewed By: J.Rosenberg
Date: 8/27/12
Proposed Work: TI for new food processing facility

This correction punchlist is not to be construed as an approval for any code items not noted, or commented on. It is the contractor's responsibility to conform to the provisions of all relevant laws, codes, ordinances, rules and regulations

Item No. Sheet No. Correction Comments

1. Subject to available sewer line and Water Pollution Control Facility capacity, a capacity fee based on the applicant's flow and waste strength shall be determined by Public Works Administration. Contact Alicia Sargiotto at 510-583-4727 before this project progresses further.
2. Contact Water Pollution Source Control at 510-881-7900 for information to obtain a Wastewater Discharge Permit. All conditions for the permit shall be met, and the permit shall be issued prior to any process discharge from this facility (Wastewater Discharge Permit Application Attached).
3. Provide written documentation listing all of the wet operations and/or processes that discharge to the sanitary sewer from proposed operations (e.g., boiler-blowdown, sanitary, equipment and floor sanitation, steamer condensate, etc)
4. Standard Industrial Waste Monitoring Structure (Dwg. No. SD-309 filed 9-25-02) required to be installed end-of-pipe on building lateral(s) if not existing that receives discharge from this facility only.
5. All condensate drains, water heater drains, boiler blowdown, and air conditioner or chiller blowdown shall discharge to the sanitary sewer.
6. Secondary containment shall be provided for boiler chemistry where applicable
7. HVAC and exhaust fans on the roof shall be installed and maintained to prevent discharge of pollutants to the storm drain to the maximum extent practicable.

8. All wastewater from saw cutting operations shall be captured and kept from discharge to the storm drain system. Saw cutting water may be filtered to remove sand and cement, neutralized to pH less than 12, and the filtered and neutralized water may be discharged to the sanitary sewer on-site.
9. All on-site storm drain inlets shall be cleaned at least once per year immediately prior to the rainy season. Additional cleaning may be required by the City.
10. All on-site storm drain inlets shall be clearly stenciled "No Dumping, Drains to Bay."
11. During construction and/or demolition activities take measures to prevent and/or reduce exposure of any materials stored onsite from coming in contact with rain and/or surface waters. Keep materials from entering the storm drains by conducting routine sweeping and the utilization of covers to protect stormwater inlets.
12. Outside dumpsters, collection bins or garbage cans shall be covered (except when adding or removing waste) and be free of rust and leaks to minimize to the maximum extent practicable the transference of pollutants to the storm water collection system. Dumpster areas shall be covered and slab floor shall be designed to prevent run-on of surface water and run-off of pollutants. Dumpster area drains shall be connected to the sanitary sewer with a solids interception device.
13. Loading dock controls shall be implemented which includes use of drain blockers during deliveries or the installation of a manual valve within the drain that can be opened or closed in the event of an unexpected release. Further, receiving areas should be equipped with spill kits sufficient for the variety of materials to be handled.
14. Any exterior painting shall be completed in weather conditions that will allow the paint to dry prior to rainfall.



**CITY OF HAYWARD
DEPARTMENT OF PUBLIC WORKS
SECTION 1. APPLICATION**

**Wastewater Discharge Permit Application
Part A – Applicant Information**

PERMIT NUMBER

A1. Applicant Business Name:			
A2. Address of premises discharging wastewater:			
Street:			
City:		Zip:	Phone:
A3. Business Address:			
Street:			
City:		Zip:	Phone:
A4. Business Owner/Parent Company:			
Name:		Contact Person:	
Mailing Address:			
City:		State:	Zip: Phone:
A5. Chief Executive Officer:			
Name:		Title:	
Mailing Address:			
City:		State:	Zip: Phone:
A6. Person to be contacted about this application:			
Name:		Title:	
Phone:			
A7. Person to be contacted in case of emergency:			
Name:		Title:	
Day Phone:	Night Phone:	Pager:	Cell Phone:
<p>CERTIFICATION: I certify under penalty of law that this document and all attachments were prepared under my direction or supervision in accordance with a system to assure that qualified personnel properly gather and evaluate the information submitted. Based on my inquiry of the person or persons directly responsible for gathering the information, the information submitted is, to the best of my knowledge and belief, true, accurate, and complete. I am aware that there are significant penalties for submitting false information, including the possibility of fine and imprisonment for knowing violations.</p>			
Signature		Date	
Print Name		Title	



**CITY OF HAYWARD
DEPARTMENT OF PUBLIC WORKS**

**Wastewater Discharge Permit Application
Part B - Business Description**

PERMIT NUMBER

Purpose - The Business Description is used to determine the substances which may enter into the wastewater discharge from the business activity and to identify production processes for pollution prevention purposes. The production quantities are necessary for federal reports.

B1. Business Activity - (Complete a separate Part B for each major business activity occurring on the premises)

ACTIVITIES	SIC CODES
-------------------	------------------

(a) Product(s):

TYPE OF PRODUCTS/SERVICES	DAILY QUANTITIES					
	DAILY PRODUCTION PAST YEAR			DAILY PRODUCTION THIS YEAR		
	Amount		Units	Amount		Units
	Avg.	Max.		Avg.	Max.	

(b) Description - Describe all industrial processes conducted on-site and identify those processes that have wastewater generating operations. (Use additional sheets as necessary)

(c) Substances Proposed to be Discharged - Give correct and full legal names of any materials or products proposed to be discharged to the sewer. Briefly describe the physical and chemical properties of each substance and product. Indicate concentration of when discharged.

NAME	DESCRIPTION

B2. Industrial Category

(a) Local Regulations Only (b) Local and/or Federal Regulations Federal Category: _____

B3. Other Wastes - List the type and volume of liquid or solid waste removed from the premises by means other than community sewers and name disposal site. Include sludge from pre-treatment units, hazardous waste, recyclable waste, etc. Do not include garbage or office recyclables.

DESCRIPTION	VOLUME (gal/week), (lbs/week)	REMOVED BY (name & address)	DISPOSAL SITE



**CITY OF HAYWARD
DEPARTMENT OF PUBLIC WORKS**

**Wastewater Discharge Permit Application
Part C - Schematic Flow Diagram**

PERMIT NUMBER

Purpose - The Schematic Flow Diagram shows the flow pattern of products through the facility and the various sources of wastewater. This information will enable the City to assess the quality, volume and peak flows of the discharge.

Schematic Flow Diagram - For each major activity draw a diagram of the flow of materials and water from start to completed product, showing all unit processes. Include volume of wastewater generated from each unit process where applicable, indicating average and peak flow rates where appropriate, and show volumes and destination of hauled and recycled wastes. Number each unit process to the consistency with the flow numbers when showing flow unit process in the building layout in Part D. Include additional pages as necessary.



**CITY OF HAYWARD
DEPARTMENT OF PUBLIC WORKS**

**Wastewater Discharge Permit Application
Part D - Building Layout**

PERMIT NUMBER

Purpose - The Building Layout shows the wastewater generating operations which contribute to each building sewer. This building layout will also enable the City and the applicant to select suitable sampling locations for determining and verifying wastewater strength and applicable discharge limitations.

Building Layout - Draw to locate the location of each building on the premises. Show location of all water meters, storm drains, floor drains or other sanitary sewer access or discharge points, numbered unit processes (from Part C), community sewers and each building sewer connected to the community sewers. Number each building sewer and show possible sampling locations.

A large, empty rectangular box with a black border, intended for the applicant to draw the building layout as described in the instructions above.



**CITY OF HAYWARD
DEPARTMENT OF PUBLIC WORKS**

**Wastewater Discharge Permit Application
Part E - Water Source & Use**

PERMIT NUMBER

Purpose - The Water Source and Use Information will enable the City to determine the volume and sources of wastewater discharged to the community sewer.

E1. Water Use and Disposition - Average quantity of water received and wastewater discharged daily
NOTE: Show unit separately about the method and calculation used to determine quantities on table. *Documentation required for non-retarded water

	SUPPLY FROM			DISCHARGED TO		
	City of Hayward	Other (1)		City Sewer	Other (2)	
WATER USED FOR:	gal/day	gal/day	Source	gal/day	gal/day	Disch. To
Sanitary						
Processes						
Boiler						
Cooling						
Washing						
Irrigation (If meter in the area)						
Product*						
Other (3)						
TOTAL					**	
GRAND TOTAL	SUPPLY			DISCHARGE		

** Transfer this value to Part F2C.
 Note: (1) Enter the quantity and the appropriate code letter indicating the source: a. well b. creek c. stormwater d. reclaimed water e. groundwater
 (2) Enter the quantity and the appropriate code letter indicating the discharge point: p. creek h. stream/river c. rail, truck, barge d. evaporation
 e. product f. leachate
 (3) Describe:

E2. Sources of Wastewater Discharged

WATER ACCOUNT NUMBER	PERCENT (%) DISCHARGED TO BUILDING SEWER:				Total % Discharged	Total % Sewer Credit
	SEWER No. 1	SEWER No. 2	SEWER No. 3	SEWER No. 4		

E3. Number of Employees

	OFFICE		PRODUCTION (number of employees per shift)					
	No.	TOTAL HRS	No.	DAY HRS.	No.	SWING HRS.	No.	NIGHT HRS.
WEEKDAY		to		to		To		to
SATURDAY		to		to		To		to
SUNDAY		to		to		To		to

E4. Discharge Period **E5. Variation of Operation**

(a) Discharge occurs daily: From: _____ To: _____	Indicate whether the business activity is: Continuous throughout the year <input type="checkbox"/> or seasonal <input type="checkbox"/>
(b) Circle the days of the week the discharge occurs: S, M, T, W, T, F, S	If seasonal, list the months of the year during which discharge occurs:

Comments:



**CITY OF HAYWARD
DEPARTMENT OF PUBLIC WORKS**

**Wastewater Discharge Permit Application
Part F -- Building Sewer Discharge**

PERMIT NUMBER

Purpose - The Building Sewer Discharge Information will identify the variation in flow rate and the type of constituents and characteristics of the discharge for each side sewer.

F1. Building Sewer No. (From Part D)

F2. Wastewater Flow Rate (From E1: Total discharged to community sewer)

PEAK HOURLY		MAX. DAILY		ANNUAL DAILY AVG.		IF OPERATIONS ARE SEASONAL AVERAGE DAILY (GALLONS/DAY)			
Gallons/minute		gallons/day		gallons/day		seasonal min.		seasonal max.	
A		B		C		D		E	

F3. If Batch Discharge, indicate:

a. Number of batch discharges: _____ per month. c. Average quantity per batch: _____ gallons.

b. Day/Time of batch discharges: _____ at _____. d. Flow Rate: _____ gallons/minute.

List process generating or type of proposed batch discharges:

F4. Wastewater Strength Estimates - Enter the average annual and maximum wastewater strength for this building for each of the following elements of wastewater strength for the period covered by the Permit.

ANY SIGNIFICANT DEVIATION FROM THESE VALUES CAN RESULT IN TERMINATION OF THE PERMIT.

ELEMENTS OF WASTEWATER STRENGTH	UNIT	AVERAGE	MAXIMUM
Carbonaceous Biochemical Oxygen Demand	mg/L		
Suspended Solids	mg/L		
Attach other analyses if appropriate			

If data from a commercial laboratory was used to determine the values, please give the name and address of the laboratory.

Name	Address

F5. Pollution Prevention and Abatement Practices

a. Check pollution prevention techniques implemented:

none, water conservation, dry-out controls, dedicated piping/containers, materials recovery/on-site recycling, counter-current flows, material substitution, process modification, other.

Describe the pollution prevention measures on a separate sheet, including decrease of wastes generated, procedures to maintain control, and process qualifications.

b. Wastewater Pretreatment - Check the type of treatment, if any, given wastewater from this building sewer before it is discharged to the community sewer:

none, grease trap, oil and water separator, pH adjustment, biological treatment, screening, chlorination, flow equalization, chemical precipitation, DX, UF, RO, Solids Filter, Other

Describe the pretreatment system on a separate sheet, including the loading rates, design capacity, physical size, etc. of each pretreatment facility checked above.

c. Planning Pollution Prevention/Wastewater Pretreatment Improvements - Describe any changes in source control, treatment, or disposal methods planned or under construction for the wastewater carried by this building sewer. Describe planned improvements on a separate sheet.

F6. Stormwater Area
Total area in square feet exposed to storm water and draining to sanitary sewer: _____ square feet.

F7. Sampling Location:

a. Local Sampling Point
b. Federal Sampling Point:

ASI CONSULTING ENGINEERS

10 Rollins Rd. Suite 217, Millbrae, CA. 94030
Tel. (650) 444-5374 Fax (650) 697-2501

September 7, 2012

Ms. Alexandra Sepulveda
City of Hayward
Building Inspection Department
777 "B" Street
Hayward, CA 94541

Permit No.: B1-2012-2238
Project Address: 30782 Huntwood Ave.
ASI Job No.: 12189-1

Re: Tenant Improvement

STATUS: Structural – Resubmit

We have reviewed the following items:

1. Structural Drawings bearing seal of Ronald J. Reese
Sheets: A3.1 dated 08-15-12
A4.1 dated 08-15-12
A4.2 dated 08-15-12
A5.1 dated 08-15-12
A7.1 dated 08-15-12
A9 dated 08-15-12
2. Structural Calculations by Weatherby Reynolds Fritson
Dated : 08-17-12

REMARKS : / COMMENTS:

1. Sheet A4.2, Detail C; Roof sleeper does not agree with structural calculations or Plan H2. Please coordinate.
2. Sheet A7.1; specify all required framing members, sheathings and fasteners for sheer transfer & resistance to lateral load from mezzanine floor. Coordinate with structural calculations.
3. Sheet A7.1, Detail 6; Provide Calculations for ledger connections for both gravity & seismic load. Specify required edge distances.
4. Details on Sheet A7.1; Provide non-bearing wall details for connection of new walls to roof framing.
5. Clarify/evaluate existing walls for additional load from new floor.
6. Indicate location of all mechanical units and roof openings on roof framing plan. Specify all required fasteners & framing members. Coordinate with structural calculations.
7. All plan sheets shall bear wet seal & signature of Engineer of Record.

If you have any questions regarding the above comments, please call Amir Shahmirza, Structural Engineer at (650) 444-5374.



Public Works Department
 Solid Waste Program
 777 B Street Hayward, CA 94541-5007
 TEL (510) 583-4725 FAX (510) 583-3610

Standard Conditions of Approval

2nd Punchlist

Project Number: BI-2012-2238 & 2239

Project Address: 30782 Huntwood Avenue

Contact: Wayne Fabrizio for Balch Enterprises

Reviewed By: Angel Groves for Vera Dahle-Lacaze

Date: October 22, 2012

Proposed Work: Alterations to accommodate Wisoman Foods and trash enclosure

Applicants must comply with these Standard Conditions to obtain a building permit. This document describes the information required on the site plans regarding the storage and removal of all trash and recyclables that will be generated upon occupancy.

Plan check is not to be construed as an approval for any code items not noted, or commented on. It is the contractor's responsibility to conform to the provisions of all relevant laws, codes, ordinances, rules and regulations.

- ✓ Federal law requires a roof on outdoor trash enclosures where food or other organics is generated for disposal (Federal Clean Water Act). For questions about the requirement for a roof on enclosures, please contact Jim Lear, Public Works Engineering & Transportation at (510) 583-4785.
- ✓ City regulations require that all businesses subscribe to at least weekly garbage service. Businesses may subscribe to service for as many as six days per week.
- ✓ Adequate indoor and outdoor storage space for recyclables is required by state law (California Public Resources Code 42910-42912 and Hayward Municipal Code 5-1.27).
- ✓ For all other questions, please call (510) 583-4725 or email vera.dahle-lacaze@hayward-ca.gov.

**STANDARD CONDITIONS OF APPROVAL FOR SOLID WASTE
 COMMERCIAL CONSTRUCTION AND DEMOLITION PROJECTS**

Section	Provisions	Approved	Unresolved	Waived/Deferred
1	Container Capacity See page 2	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
	Storage Space See page 2	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
2	Enclosure Design	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3	Collection Vehicle Access See page 3	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
4	Construction & Demolition Debris Recycling Requirements See C&D Packet	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Section 1: Container Capacity and Storage Space

1. Indicate on the site plan the size, number, and type of containers for garbage, recycling, and organic materials, e.g., food waste from restaurants and food processors.

Outdoor storage for garbage, recyclables, and organic materials may be in separate enclosures or one combined enclosure, with space for individual containers for garbage, recyclables and organic materials. The minimum container capacity required for weekly garbage collection must be calculated as follows:

Formula to Determine Minimum Garbage Container Capacity in Cubic Yards	
$\underline{\hspace{1cm}} \text{ \# of employees } \times \underline{\hspace{1cm}} \text{ lbs. of garbage generated per employee/week (table below) } + 150 = \underline{\hspace{1cm}} \text{ CY/week}$	

The number of employees may be an estimate. This formula must be included on the site plan, along with the container size(s) and enclosure dimensions.

The available container sizes and their dimensions are as follows (Note: Four cubic yard bins are the largest bins with casters and are the largest bins allowed in an enclosure):

Carts	Width	Depth	Height	Service* Available
20 & 32 gallons	22 inches	25 inches	41 inches	Garbage
64 gallons	28 inches	30 inches	43 inches	Garbage / Organics
96 gallons	30 inches	36 inches	47 inches	Garbage/Organics/ Recycling
Bins				
1 cubic yard (~200 gallons)	7 feet	3.5 feet	4 feet	Garbage/Organics/ Recycling
2 cubic yards	7 feet	3.5 feet	4.5 feet	Garbage/Organics/ Recycling
3 cubic yards	7 feet	4 feet	5 feet	Garbage/Organics/ Recycling
4 cubic yards	7 feet	5 feet	5.5 feet	Garbage/Recycling
6 cubic yards (no wheels)	7 feet	6.5 feet	6 feet	Garbage/Recycling
7 cubic yards (no wheels)	7 feet	7 feet	6 feet	Garbage/Recycling
Roll-off Boxes				
6 cubic yards	7 feet	12 feet	2 feet	Garbage
14 cubic yards	7.5 feet	12 feet	5.5 feet	Garbage
20 cubic yards	7.5 feet	14 feet	5.5 feet	Garbage
30 cubic yards	8 feet	22 feet	5 feet	Garbage
40 cubic yards	8 feet	22 feet	7.5 feet	Garbage
Compactors				
20 cubic yards	7.5 feet	20 feet	7 feet	Garbage
30 cubic yards	7.5 feet	20 feet	7.5 feet	Garbage
40 cubic yards	8 feet	22 feet	7.5 feet	Garbage

2. Applicant must indicate on the site plan the existing and/or proposed outdoor enclosure(s) for tenants' storage of trash and recyclables. Please indicate whether the outdoor containers and enclosure will be shared with other businesses. Site plans must clearly indicate that the space provided for Indoor and

outdoor storage of recyclables is the same size or larger as that provided for garbage (Hayward Municipal Code 5-1.27)

Commercial Waste Generation Rates

Business Type	Pounds Per Employee Per Week
Construction	77
Finance / Insurance / Real Estate / Legal	79
Manufacturing-Apparel / Chemical / Electronic / Industrial / Paper / Metal	35
Manufacturing-Food / Kindred	69
Manufacturing-Furniture / Fixtures	80
Manufacturing-Printing / Publishing	51
Public Administration	17
Retail Trade-Automotive Dealers & Service	74
Retail Trade-Building Material and Garden	40
Retail Trade-Food Store	106
Retail Trade-General Merchandise Stores	14
Retail Trade-Restaurants	96
Services-Business Services	35
Services-Education	21
Services-Hotels / Lodging	45
Services-Medical / Health	24
Trucking and Warehousing	26
Wholesale Trade-Durable Goods	18
Wholesale Trade-Nondurable Goods	52

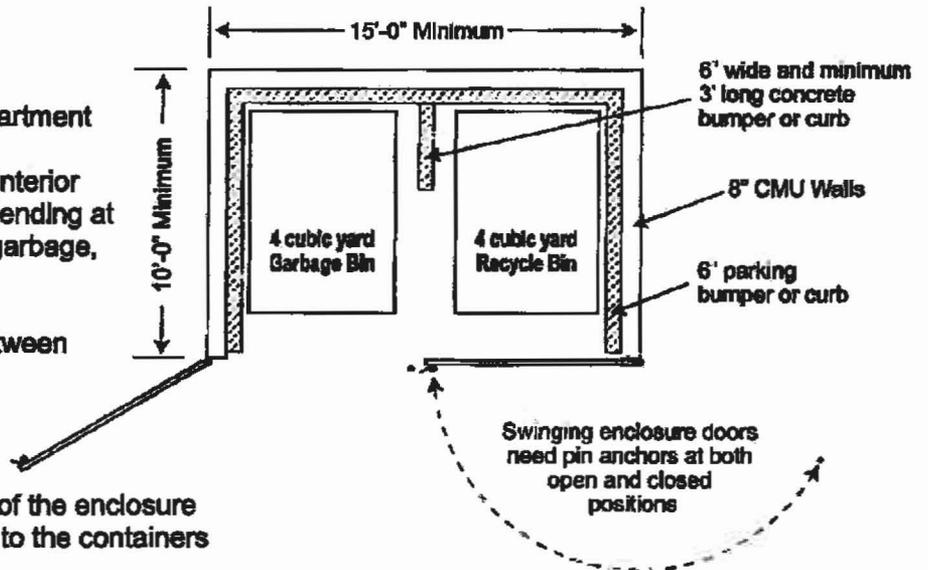
Source: CalRecovery; data were compiled from waste characterization surveys conducted statewide.

Section 2: Enclosure Design

Trash Enclosure for 4 cubic yard Garbage and Recycle Bins

Enclosure Specifications

- 8" CMU walls or fencing, or other requirements set by Planning Department
- 6" wide curb or bumper along the interior perimeter of the enclosure and extending at least three feet long between the garbage, recycling, and/or organics bins
- A minimum space of 12 inches between containers and the walls of the enclosure to allow for maneuvering the containers
- Gates that hinge from the corners of the enclosure to allow for maximum accessibility to the containers
- Enclosures must be constructed on a flat area with no more than a 2% grade



6. If the existing or new business will generate organics for disposal, a roof over the enclosure is required. (National Pollution Discharge Elimination System, Federal Clean Water Act). For questions, contact Jim Lear at 583-4785.
7. A concrete pad extending 20' from the enclosure to accommodate for truck weight is recommended.
8. Signage indicating "Garbage Only" on one side of the enclosure and "Recyclables Only" on the other. If an organics bin is planned for, signage indicated "Organics" is required.
9. If a compactor will be used or if washing inside the trash enclosure is planned, a drain inlet connected to the sanitary sewer line is required. If the compactor is proposed for a below-grade loading area, the minimum loading height is 30 feet. For questions about these requirements, contact Jim Lear at (510) 583-4785.
10. If the proposed development does not have confirmed tenants (i.e. a speculative development), City staff reserves the right to revise the enclosures constructed by the applicant to include more enclosures and/or to revise the dimensions of the constructed enclosures as individual tenants submit their plans.

Trash Enclosure Dimensions	
Bin Capacity	Depth x Width
1 cubic yard bins	10 ft x 10 ft
2 cubic yard bins	10 ft x 12 ft
3 cubic yard bins	10 ft x 12 ft
4 cubic yard bins	10 ft x 15 ft

Section 3: Collection Vehicle Access

1. Dashed lines indicating the collection vehicles' path of travel to enter the property, service each container, and exit are required. For safety reasons, a 40-foot turning radius or turnaround is required for any street that would otherwise require the collection truck to back up a distance greater than 150 feet.
2. If collection vehicles must enter or exit under a gate, it must be at minimum 14 feet.
3. If gates with locks are planned to limit access to the property, the applicant must provide keys or cards to the service provider, Waste Management of Alameda County (510) 537-5500. Keys and locks may also be obtained from Waste Management for a nominal fee.
4. Compactors must be positioned to allow for a back up distance of three times the length of the compactor in order to service it. The back-up distance must extend straight ahead from the end of the compactor unit. Dashed lines indicating the collection vehicle's path of travel to service the compactor is required. If a compactor is proposed for a below-grade loading area, the minimum loading height is 30 feet.

Section 4: Construction and Demolition Debris Recycling Requirements

For all projects with a valuation in excess of \$75,000, the applicant must submit for review by Solid Waste Program staff a *Construction and Demolition Debris Recycling Statement*, a *Construction and Demolition Debris Recycling Summary Report*, and weigh tags for all materials disposed during the entire term of the project. These forms and other detailed information are included in the Construction and Demolition Recycling Packet.



Development Services Department
 Building Division
 777 B Street, Hayward, CA 94541-5007
 TEL 510-583-4140 FAX 510-583-3642 TDD 510-247-3340

2nd Punchlist

Building Permit Number: BI-2012-2238

Job Address: 30782 Huntwood Av.

Reviewed By: Stan Morris **Phone Number:** 510-583-4183

Type of Review: arch, energy

Date: 10/26/2012

Proposed Work: 2 (n) restrooms, new a/c in new office area, new walls, build ceiling in break room. Also trash enclosure. Per Glen and DB, refrigerator and equipment to be deferred. Health Dept receipt rec'd.

REDLINES: Yes No **Attachments:** Yes No

COMMENTS - This plan check is not to be construed as an approval for any code items not noted, or commented on. It is the contractor's responsibility to conform to the provisions of all relevant laws, codes, ordinances, rules and regulations. Work shall not commence without approved plans unless specifically allowed by the Building Official. All inspections require the "APPROVED" job copy and job card to be available on the job site.

1. **Provide manufacturers cut sheets or listing** by approved testing agency showing flame spread and smoke development for curtains A, B, & F. (I could not locate a listing for global Industrial's strip doors on the state fire marshal web site?)
2. Provide **Tag/ID numbers** on the plans to match Tag/ID numbers listed in the energy report. Show the roof height at opaque Tag/ID's. Are there any glazing areas that should be modeled in the report?
 - a. Fenestrations in demising walls, minimum prescriptive/mandatory requirements, are U-factor of 0.77 and R.S.H.G of 0.61 or include other than minimum in the performance report. Show the minimum U-factor and R.S.H.G on the plans, in a window schedule, or by note, or include in the report.
 - b. TAG/ID's provide a name or designator for each unique type of opaque surface such as Wall-1, Ceiling-1, Roof-1 and Floor-1. This designator should be used consistently throughout the plan set (elevations, finish schedules, etc.) to identify each surface. It should also be consistently used on the other forms in the compliance documentation. Show the Tag/ID on the plans for opaque surface verification.
3. Per the submitted Envelope Energy Report, provide locations of DCV sensors on the plans and list DCV in equipment schedules. Provide manufactures cut sheets showing use of DCV with the scheduled HVAC and heating equipments.

- 4. Add the 2010 California Green Building Standards under Project Data, page A1.0. Include the Mandatory Requirements Checklist as a part of the plans and specify on the plans how compliance is achieved.**
- 5. Add the 2008 Energy Standards under Project Data.**
- 6. Correct the dimensions for the toilet paper holder to 7"-9" centerline in front of the rim of the water closet per the August 1, 2012 supplement to the 2010 CBC. Other restroom/compartment dimensions and signage/character requirements have also changed. Correct the accessible details per the 2010 CBC.**



Development Services Department

Building Division

777 B Street, Hayward, CA 94541-5007

TEL 510-583-4140 FAX 510-583-3642 TDD 510-247-3340

3rd Punchlist

Building Permit Number: BI-2012-2238

Job Address: 30782 Huntwood Av.

Reviewed By: Stan Morris **Phone Number:** 510-583-4183

Type of Review: energy

Date: 11/15/2012

Proposed Work: 2 (n) restrooms, new a/c in new office area, new walls, build ceiling in break room. Also trash enclosure. Per Glen and DB, refrigerator and equipment to be deferred. Health Dept receipt rec'd.

REDLINES: Yes No

Attachments: Yes No

COMMENTS - This plan check is not to be construed as an approval for any code items not noted, or commented on. It is the contractor's responsibility to conform to the provisions of all relevant laws, codes, ordinances, rules and regulations. Work shall not commence without approved plans unless specifically allowed by the Building Official. All inspections require the "APPROVED" job copy and job card to be available on the job site.

From the Non-res. Manual:

When previously unconditioned space becomes conditioned, the space is then considered an "addition" and all the building's components must then comply as if it were a new building.

1. Model the slab and exterior walls as New for the newly conditioned area. Provide corrected energy report on the plans pages.



Address: 31353 Huntwood Avenue (CEVA)

Job Description: Remodel lobby/conference rooms, convert showroom to breakroom, alteration to upgrade site accessibility.

Project Representative: Wayne Fabrizio, Balch Enterprises

Permit Number	Application Submittal Date	Number of Plan Check Review Rounds	Issued Date	Finalled Date
BI-2012-2227	8/16/2012	3	10/9/2012	11/5/2012



Department of Community & Economic Development

Building Division

777 B Street, Hayward, CA 94541

TEL 510-583-4140 FAX 510-583-3642 TDD 510-247-3340

1st Punch List

Building Permit Number: 12-2227
Job Address: 31353 Huntwood Ave.
Type of Review: Electrical
Reviewed By: Bob Walsh
Phone Number: 583-4155
Date Reviewed: 8-24-12
Proposed Work: Remodel

This correction punchlist is not to be construed as an approval for any code items not noted, or commented on. It is the contractor's responsibility to conform to the provisions of all relevant laws, codes, ordinances, rules and regulations. Work shall not commence without approved plans unless specifically allowed by the Building Official. All inspections require the "APPROVED" job copy and job card to be available on the job site.

- E-1 Add note: All Controls and switches intended to be used by the occupant of the room or area to control lighting and receptacle outlets, appliances or cooling, heating and ventilating equipment, shall located no more than 48 inches measured from the top of the junction or device box nor less than 15 inches measured to the bottom of the junction or device box above the finished floor.
- E-1 Add note: All receptacles outlets on branch circuits of 30-amperes or less and communication system receptacles shall be located no more than 48 inches measured from the top of the receptacle outlet box or receptacie housing nor less than 15 inches measured to the bottom of the receptacle outlet box or receptacle housing above the finished floor.
- E-2 Add note: All rooms 100 square feet or greater and have more than one lighting fixture shall have the switching split (i.e. minimum of two switches) and an additional switch shall be required for room equal to or greater than 250 square feet with valance lighting from windows. Valance lighting zone includes area 2 feet on each side of the windows and a distance of 15 feet back from the windows.
- E-2 Add note: Lighting fixtures installed in a suspended ceiling shall be fastened to the ceiling framing member at all four corners with screws and attached #12 ceiling wires to the light fixture at diagonally opposite corners and to the structural ceiling.



Department of Development Services

Building Division

777 B Street, Hayward, CA 94541-5007

TEL 510-583-4140 FAX 510-583-3642 TDD 510-247-3340

First Punchlist

Building Permit Number: BI-2012-2227
Job Address: 31353 Huntwood Ave.
Reviewed By: Steve Osborne **Phone Number:** 510-583-4180
Type of Review: Architectural / T-24 Energy
Date: 8/30/12
Proposed Work: Remodel lobby, break rooms, restroom and site access upgrades
Red-lines/Attachments YES

COMMENTS - This plan check is not to be construed as an approval for any code items not noted, or commented on. It is the contractor's responsibility to conform to the provisions of all relevant laws, codes, ordinances, rules and regulations. Work shall not commence without approved plans unless specifically allowed by the Building Official. All inspections require the "APPROVED" job copy and job card to be available on the job site.

SHEET A1.0

1. Please update the applicable codes to show the 2008 California Energy Code.
2. The area of work shown on the cover sheet does not match what is on sheet A4.0. The work area does not seem to extend beyond grid line #19.
3. The accessible route from the public right of way to the entrance shown on A1.0 does not match what is shown on A2.1.

SHEET A2.1

4. The path of travel shown from the public right of way is not adequately protected from vehicle traffic (see redlines for more information). Also, please see the following from the CBC: **1133B.8.5 Detectable warnings at hazardous vehicular areas. If a walk crosses or adjoins a vehicular way, and the walking surfaces are not separated by curbs, railings or other elements between the pedestrian areas and vehicular areas, the boundary between the areas shall be defined by a continuous detectable warning which is 36 inches (914 mm) wide, complying with Section 1121B.3.1, Item 8(a).**
5. Show the path of travel extending to the loading zones for the accessible parking spaces. It is not clear if the loading area for the accessible space at the far right is connected to the accessible route.

SHEET A4.0

6. The area of work at grid line #7 should be indicated the same way as the others (use a heavy dashed outline).
7. The employee dining room requires two exits. Both of the exits must swing in the direction of travel. While work is not occurring directly in the room, this is an obvious code violation. We recommend that you consider changing the swing of one of the doors to meet minimum compliance.
8. Please use text that is 10pt. minimum for notes on the plans. Since these drawings will be reduced and copied again, this is important for legibility.

SHEET A4.3

9. The restroom in the scope of work does not meet minimum accessibility compliance. Please provide a plan that focuses on the accessible upgrades to the restroom. As it is drawn now, there is not enough clearance in front of the water closet to the partition wall. Draw the restroom showing all minimum clearances (clear floor space for doors and fixtures and turning radius). Reference the standard details for heights of bars and fixtures from the floor plan.
10. Try to clarify the partial floor plan. There are just too many lines on the drawing for it to be read as an architectural plan. Indicate the tiles with notes instead of drawing each tile. Provide the detail tags only for new walls. Provide the square footage, use and occupant load of each room.
11. Indicate the specific details on sheet A4.6 that are referenced in the wall sections.
12. Please correct the scale that is indicated on the title block.

SHEET A4.5

13. Indicate the required knee clearances under the kitchen sink in the break room. Show a removable door at the base cabinet to allow for wheelchair access.

SHEET A4.6

14. Please remove the shop drawings reused from a previous project. Just draw the key details specific to this job.
15. The detail tags on 4/A4.6 to 6/A4.6 reference sheets that are not in the set. Please remove these tags.
16. Detail 6/A4.6 shows insulation at the T-bar ceiling. If the insulation is not there, please update the detail.

SHEET Ec 1

17. The City of Hayward Green Building Ordinance requires that installed lighting be reduced by 15% below the allowed wattage set by the Energy Code. The current installation is approximately 7% below the allowed wattage. Please update to comply.
18. Please provide cut sheets for the proposed lighting fixtures. The total system wattage should be indicated (ballast plus fixture).

END OF COMMENTS



Department of Public Works

Utilities & Environmental Services

777 B Street, Hayward, CA 94541-5007

TEL 510-583-4727 FAX 510-583-3610

1st Correction Punchlist

Permit Number: BI-2012-2227
Applicant: Balch Enterprises
Job Address: 31353 Huntwood Avenue
Reviewed By: Alicia Sargiotto
Date: 09/04/12
Proposed Work: TI CEVA Logistics. Remodel lobby/conference rooms, convert showroom to break room, alteration to up-grade site accessibility.

COMMENTS – This plan check is not to be construed as an approval for any code items not noted, or commented on. It is the contractor's responsibility to conform to the provisions of all relevant laws, codes, ordinances, rules and regulations.

General Comments/Conditions:

1. Water & Sewer Service are available and subject to standard conditions and fees in effect at time of application and payment of fees:

- a. Water Services – The site is currently served by one 2" service line with a manifold to one 1" domestic meter (account no. 60-14300.02) and one 1.5" irrigation meter (account no. 60-14302.02) and two 8" fire services (account no. 60-14304.02 & 60-14305.02).

The existing 1" domestic water meter is insufficient for the proposed TI. Based on the water fixtures shown on the plans, the finished structure will have 106.5 water fixture units, which will require a minimum 1.5" domestic water meter.

The existing 1" domestic meter shall be upsized to a 1.5" meter. The current cost to upsize the existing 1" water meter to a 1.5" water meter is \$15,762 (\$15,232 facilities fee + 530 installation fee). Please note that this fee will increase on October 1, 2012 to \$16,440.

Condition of Approval: The existing 1" domestic water meter must be upsized to a 1.5" domestic water meter.

Any modifications needed to the water services and/or water meters (upsized, downsize, relocate, etc.) must be performed by City crews at the owner's/applicant's expense.

- b. Sewer Service – The parcel currently has an existing commercial sewer service with a permitted discharge capacity of 210 gallons per day. Additional Sewer System Connection/Capacity to accommodate the volume and waste strength of wastewater to be discharged from the subject project may need to be purchased, at the rates in effect at the time of purchase, prior to discharge. **Additional information is needed from the owner/applicant**

to determine the amount of the fee. The current sewer connection fee for a general commercial/industrial establishment is **\$36.68** per gallon of daily discharge.

Condition of Approval: Complete the attached Sewer Service Connection fee application and submit it to Senior Utility Service Representative via fax, 510-583-3610, or e-mail, alicia.sargiotto@hayward-ca.gov. Please provide any additional information you can regarding the estimated discharge volume and wastewater strength, such as a water bill from a similar type of establishment, if available.

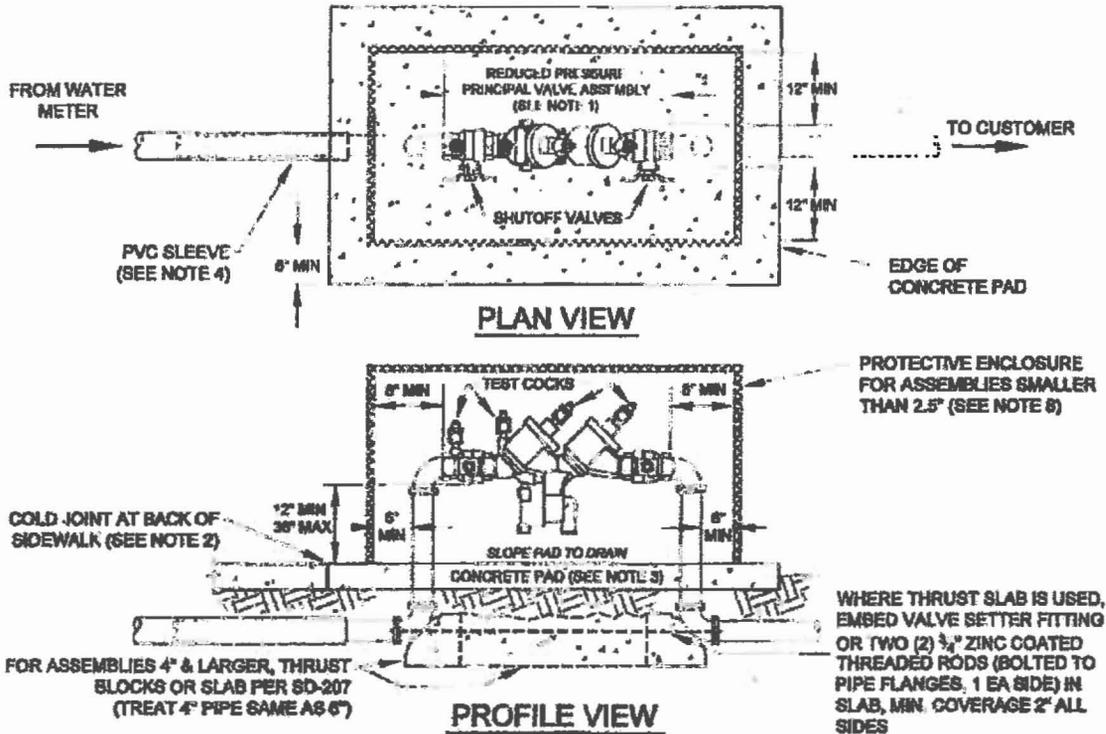
2. All domestic & irrigation water meters must have Reduced Pressure Backflow Prevention Assemblies, per City of Hayward Standard Detail 202. Backflow Prevention Assemblies shall be at least the size of the water meter or the water line on the property side of the meter, whichever is bigger. City records indicate that the existing domestic service is not protected. An RP Backflow Prevention Assembly must be installed on the domestic water service. Please contact the Cross Connection Control Specialist, Kathy Richards, at (510) 881-7965, once the backflow device has been installed so that it can be inspected and tested.

Condition of Approval: Prior to Final Inspection/Approval, City Inspector shall confirm that the domestic water service is equipped with Reduced Pressure Backflow Prevention Assemblies, per City of Hayward Standard Detail SD-202.

Complete the Following Items:

1. Complete the attached Sewer Service Connection fee application and submit it to Senior Utility Service Representative via fax, 510-583-3610, or e-mail, alicia.sargiotto@hayward-ca.gov. Please provide any additional information you can regarding the estimated discharge volume and wastewater strength, such as a water bill from a previous location, if available.
2. Add to the plans the note "Only City Water Distribution Personnel shall operate valves and install taps on the Hayward Water System"
3. Add to the plans the note "Water & Sewer services are available and subject to the City of Hayward's standard conditions and fees in effect at the time of application and payment of fees."

**FOR IRRIGATION AND WATER SERVICES
 WHERE REQUIRED BY CCR, TITLE 17, § 7604**



NOTES:

1. ALLOWED BACKFLOW ASSEMBLIES AND THEIR ORIENTATIONS SHALL BE LIMITED TO THOSE SPECIFIED ON THE "LIST OF APPROVED BACKFLOW PREVENTION ASSEMBLIES," BY THE UNIVERSITY OF SOUTHERN CALIFORNIA'S FOUNDATION FOR CROSS-CONNECTION CONTROL AND HYDRAULIC RESEARCH, 2010 OR LATEST REVISION.
2. THE BACKFLOW DEVICE SHALL BE LOCATED: (A) A MAXIMUM OF 6' FROM BACK OF SIDEWALK (TYP.); (B) WHERE SCREENING IS REQUIRED, A MAXIMUM OF 30" FROM BACK OF SIDEWALK; OR (C) AT A LOCATION DETERMINED BY THE WATER DISTRIBUTION CROSS CONNECTION PERSONNEL IN THE FIELD.
3. CONCRETE PAD SHALL BE CLASS B CONCRETE, 4" MINIMUM THICKNESS, REINFORCED WITH WELDED WIRE MESH.
4. WHERE SERVICE LINES SMALLER THAN 4" PASS UNDER A SIDEWALK, THEY SHALL BE INSTALLED IN A PVC CASING/SLEEVE AT LEAST 1" LARGER THAN THE SERVICE LINE AND EXTENDS AT LEAST 6" BEYOND THE EDGES OF THE SIDEWALK.
5. METAL PIPES EXPOSED TO SOIL OR CONCRETE SHALL BE COATED WITH 3M SCOTCHWRAP PIPE PRIMER AND WRAPPED WITH 3M SCOTCHWRAP NO. 81 BLACK PVC TAPE (3" OVERLAP).
6. THE PORTION OF THE TRENCH FROM BACK OF METER TO THE DEVICE SHALL REMAIN OPEN UNTIL WATER DISTRIBUTION CROSS CONNECTION PERSONNEL HAVE INSPECTED AND APPROVED THE INSTALLATION.
7. THE TESTING SIDE OF THE DEVICE SHALL HAVE A MINIMUM 24" OF CLEARANCE FROM OBSTRUCTIONS (NON-TRIMMABLE LANDSCAPING, BUILDINGS, UTILITIES, ETC.) MULTIPLE BACKFLOW DEVICES SHALL BE SEPARATED BY A MINIMUM OF 18".
8. BACKFLOW ASSEMBLIES SMALLER THAN 2.5" SHALL BE COVERED WITH AN INSULATION BLANKET, MIN R-43, GREEN, WEATHERGUARD OR EQUAL AND PROTECTED BY A LOCKABLE WIRE CAGE ENCLOSURE FASTENED TO THE PAD. THE ENCLOSURE SHALL BE HINGED, POWDER COATED GREEN AND SECURED WITH A DOUBLE-LOCKED GALVANIZED CHAIN SUCH THAT EITHER LOCK CAN RELEASE THE CHAIN. ONE LOCK WILL BE SUPPLIED BY CITY.
9. BACKFLOW ASSEMBLIES 2.5" AND LARGER SHALL BE SECURED BY A DOUBLE-LOCKED, GALVANIZED, STRAIGHT LINK CHAIN THAT LOCKS THE VALVE HANDWHEELS IN THE OPEN POSITION AND EITHER LOCK CAN RELEASE THE CHAIN. ONE LOCK WILL BE SUPPLIED BY CITY. IN AREAS PRONE TO VANDALISM, CITY MAY ADDITIONALLY REQUIRE A LOCKABLE PROTECTIVE ENCLOSURE (SEE NOTE 8).
10. BOLLARDS MAY BE REQUIRED BY CITY TO PROVIDE ADDITIONAL PROTECTION (SEE SD-223 FOR BOLLARD DETAIL).

<p>HAYWARD PUBLIC WORKS DEPT.</p>		<p>STANDARD - REDUCED PRESSURE PRINCIPAL BACKFLOW PREVENTION ASSEMBLIES</p>		<p>Part No. SD-202</p>
		<p>DATE: 6/10/2011</p>		<p>1 of 1</p>
<p>DESIGNED BY: [Signature]</p>	<p>CHECKED BY: [Signature]</p>	<p>DATE: NTS</p>	<p>1 of 1</p>	



CITY OF HAYWARD * WATER DIVISION

BACKFLOW PREVENTION REQUIREMENTS

In accordance with the regulations of California Administrative Code, Title 17, no water service to any premises shall be installed or maintained by the City of Hayward Water System unless the public water supply is protected according to said State regulations and the requirements of the Hayward Water System.

Backflow prevention devices shall be required on each water service connection where any of the following conditions exist, or as required by the appropriate offices of the City of Hayward.

Please check any of the following that apply to your project

- (1) A well on property
- (2) Any connection to or access to an additional source of water, including stored water.
- (3) Any substance handled under pressure, including boilers
- (4) Any material or toxic substance dangerous to health
- (5) Any internal pressure boosting system
- (6) Irrigation systems, (except single family residences).
- (7) Fire System of Class III or Higher
- (8) Other condition that could be a danger to the public water system.

Please Type or Print

Service Address 31353 Huntwood Avenue Date 09/04/12

PPF IND - 31353 Huntwood Av. LP c/o Orchard Commercial
(Name)

2055 Laurelwood Road, #130
(Address)

Santa Clara, CA 95054
(City, St, Zip)

(408) 922-0400
(Phone & Fax Nos.)

By Water System:

Type of Backflow Prevention Device Required: REDUCED PRESSURE PRINCIPAL BACKFLOW

Water Service Number 30565

Type of Service Domestic

(Applicant's Signature)

(Title)

(SUSR0883)



Department of Development Services

Building Division

777 B Street, Hayward, CA 94541-5007

TEL 510-583-4140 FAX 510-583-3642 TDD 510-247-3340

Second Punchlist

Building Permit Number: BI-2012-2227
Job Address: 31353 Huntwood Ave.
Reviewed By: Steve Osborne **Phone Number:** 510-583-4180
Type of Review: Architectural / T-24 Energy
Date: 9/24/12
Proposed Work: Remodel lobby, break rooms, restroom and site access upgrades
Red-lines/Attachments: NO

COMMENTS - This plan check is not to be construed as an approval for any code items not noted, or commented on. It is the contractor's responsibility to conform to the provisions of all relevant laws, codes, ordinances, rules and regulations. Work shall not commence without approved plans unless specifically allowed by the Building Official. All inspections require the "APPROVED" job copy and job card to be available on the job site.

SHEET A1.0

1. Since the plumbing fixture count is going to potentially be reduced, provide a table on the cover sheet that shows compliance with Table 4-1 of the CPC. If there is a net reduction below the total required count for the facility, the building official (Glen Martinez) will need to authorize this variance or else fixtures will need to be added elsewhere to compensate for the proposed reduction.

SHEET A2.1

With notes or enlarged details, indicate that the proposed curb ramps comply with the following:

1127B.5 Curb ramps.

7. Detectable warnings. Curb ramps shall have a detectable warning that extends the full width and depth of the curb ramp, excluding the flared sides, inside the grooved border. Detectable warnings shall be slip-resistant and consist of raised truncated domes with a diameter of nominal 0.9 inch at the base tapering to 0.45 inch at the top, a height of nominal 0.2 inch and a center-to-center spacing of nominal 2.35 inches in compliance with Figure 11B-23A. "Nominal" here shall be in accordance with Sections 12-11A and B-102, State Referenced Standards Code. The detectable warning shall contrast visually with adjoining surfaces, either light-on-dark or dark-on-light. The material used to provide contrast shall be an integral part of the walking surface. The domes may be constructed in a variety of methods, including cast in place or stamped, or may be part of a prefabricated surface treatment.

SHEET A4.3

2. **Unresolved from the previous punchlist:** The restrooms in the scope of work still do not meet minimum accessibility compliance. The typical restroom layout as shown on **Detail 14/Acc** indicates the correct relationship of the door to the water closet. Again, from the code, please see the following and note the second sentence:

1115B.3.1 Multiple-accommodation toilet facilities.

4.3. If the compartment has an end-opening door (facing the water closet), either in-swinging or out-swinging, a minimum 60 inches wide and 48 inches deep maneuvering space shall be provided in front of the water closet. The door shall be located in front of the clear floor space and diagonal to the water closet, with a maximum stile width of 4 inches.

3. It is not clear why an additional lavatory is being added to the women's restroom. If both restrooms have 2 lavatories instead of 3, then creating a compliant accessible stall will be possible without moving walls. Please note that this restroom will need to meet full compliance based on the valuation of the project and scope of work. Partial improvements to this area will not be accepted.

END OF COMMENTS



Address: 3596 Baumberg Avenue (Weber Tract)

Job Description: Request for a Zone Change from Light Manufacturing District to Planned Development District, and a Vesting Tentative Tract Map to Create Fourteen Parcels for warehouse use.

Project Representative: Tony Varni, Varni, Fraser, Hartwell & Rodgers

Address	Job Description	Planning Applications Number(s)	Application Submittal Date	Number of Review Rounds	Date of Determination of Completeness	Planning Commission Hearing Date	Date of City Council Decision
3596 Baumberg Avenue	Request for a Zone Change from Light Manufacturing District to Planned Development District, and a Vesting Tentative Tract Map to Create Fourteen Parcels	PL-2010-0372 ZC/PL-2010-0373 T8039	10/7/2010	3	6/6/2012	7/26/2012	9/25/2012

September 3, 2010

John Weber
P.O. Box 608
Alamo, CA 94528

Subject: Letter of Incompletion for the Weber Property Development

Dear Mr. Weber,

After a cursory review of the package that was submitted July 20, 2010, it has been determined that the application is incomplete. On July 20, 2010, plans and documents were delivered to the Planning Division office. The submittal included 35 copies of the vesting tentative map, 3 copies of preliminary geotechnical and traffic impact reports, a tentative map application, and a check for \$15,000. Later that same day, in response to the project engineer's email, the City's Development Engineer, John Nguyen, sent an email informing the project engineer, Mark Falgout, and the developer's attorney, Tony Varni, that the application could not be accepted as there were no environmental documents and that there was no application requesting planned development zoning.

On July 29, 2010, the City received an application to add warehouses to the list of permitted uses within the Light Manufacturing District and three copies of environmental documents. Later that same day a meeting was held between the developer's engineer and attorney and Planning Division management staff. At that meeting it was explained that an application for a planned development would be required to allow warehouse uses on the Weber property rather than alter the allowable uses within the Light Manufacturing District which would affect other areas within the City. Staff is still awaiting the submittal of an application for a planned development. The zone change and tentative map applications will be processed together.

The tentative map that was submitted needs additional information; refer to the attached checklist. The additional information needed includes a more complete grading and drainage plan, off-site improvements, details of the buffer wall that is along the perimeter of the developed portions of the property and the wetlands, and other pertinent information that reflect the attached checklist and the development requirements specified in the specific plan and EIR for South of 92.

The environmental documents submitted to the City on July 20, 2010, addressed the presence of wetlands including jurisdictional determination, wetlands banking, and preconstruction notification. Figure B entitled "Areas Potentially Subject to the Corps Jurisdiction", within the document "Investigation of the Presence of Wetlands and Other Waters of the United States and Jurisdictional Determination 92.71 Acre Weber Property Hayward, CA" indicated a 0.08 acre tear-drop shaped area, as a "Isolated Abandoned Irrigation Pond/Palustrine Emergent Wetlands" that was not under the jurisdiction of the Army Corps of Engineers (Corps) pursuant to the Supreme Court decision regarding Solid Waste Agency of Cook County versus United States Army Corps of Engineers. However, a letter from the Corps, File Number 249670S, identified the tear-drop shaped area as a 0.21-acre area with Identified as an "Irrigation Pond / Palustrine Emergent Wetlands". The Corp determined that this area is within the Corps Clean Water Act Jurisdiction as waters of the United States. City staff recommends that, prior to submittal of a complete development package to the City of Hayward, the issue with the status of the tear-dropped shaped area is resolved with the Corps and the environmental documents and plans modified to reflect the final decision.

I am returning the applications and deposit check with this letter. I am requesting that you pick-up the tentative maps and supporting documents which I will leave with the receptionist in the City Hall Permit Center. Please submit a tentative map application, the correct zone change application, with an application deposit of \$15,000, a revised tentative map, and supporting documents. It should be noted that all geotechnical and traffic reports should be wet stamped and bond rather than stapled. Upon receipt of a complete submittal, your applications will be processed. If you have any questions regarding your applications, please contact me at (510) 583-4207 or email me at tim.koonze@hayward-ca.gov.

Sincerely,

Tim R. Koonze
Associate Planner

Attachments:

- a. Two Application Forms
- b. Check for \$15,000
- c. Tentative Map Application Instructions and Checklist

cc: Varni, Fraser, Hartwell & Roberts, Attorneys at Law
Attn. Tony Varni
650 A Street
P.O. Box 570
Hayward, CA 94543

Ruggeri-Jensen-Azar
Attn. Pete Ruggeri
4690 Chabot Drive, Suite 200
Pleasanton, CA 94588

November 5, 2010

John Weber
P.O. Box 608
Diablo, CA 94528

Subject: Letter of Incompletion for Zone Change Application No. 2010-0373 and Vesting Tentative Tract Map 8039 Application No. 2010-0374, 3596 Baumberg Avenue

Dear Mr. Weber,

Thank you for your submittal of the applications to request a zone change from Light Manufacturing to Planned Development in conjunction with a 16-lot subdivision. The Planning Division has reviewed the submittal and has determined that the application is incomplete.

There are a few items that need to be submitted to complete the environmental review and the review of the proposed subdivision. Please submit the following:

1. Drainage Study

Based on the size of the project, its location and proposed storm drain design, a preliminary drainage study is required to ensure that the site and its tributary areas can properly drain. The drainage study shall be submitted for review by the City and Alameda County Flood Control and Water Conservation District (Flood Control District) to ensure that the proposed drainage system would function as designed and the downstream drainage facilities have capacities to accept stormwater runoff generated from the proposed watershed associated with the project development. The hydrology calculations shall substantiate that there will be no net increases in the quantity of runoff from the site versus the flow rate derived from the original design of the main facilities. If there is augmented runoff, off-site and/or on-site mitigation measures as approved by the City and Flood Control District shall be implemented. Responsible maintenance party/parties for such off-site and/or on-site mitigation facilities must be identified. The preliminary storm drain hydraulic calculations shall be reviewed and approved by the City and Flood Control District prior to scheduling a Planning Commission's public hearing. Provide three sets of hydrology map,

watershed Study Report, pump capacity calculations and a initial deposit of \$7,000 to Flood Control District and provide one set of the afore mentioned material to the City of Hayward Planning Division, DRS Section.

Provide a contingency/emergency overland flow drainage plan to account for blocked drainage inlets and the 100-year flood (the one percent chance flood). The emergency overland flow drainage plan shall show emergency overflow within the road right-of-way or emergency overland drainage passage. Show right-of-way or emergency overland drainage passage on the tentative map between lots to allow passage of emergency overland release. The potential area of flooding shall not extend outside the road right-of-way or emergency overland drainage passage, unless approved by the City Engineer. The contingency/emergency overland flow drainage plan shall also address how the adjacent Industrial areas at lower elevation be protected.

2. FEMA Report

Our records indicated that the project site is within the Federal Emergency Management Agency (FEMA) designated Flood Zone AE (Elevation 10) – Special flood hazard subject to inundation by the one-percent chance flood, as shown in the Flood Insurance Rate Map (FIRM), Community Panel No. 06001C0426G, effective date August 2, 2009; therefore, mitigation measures are required to develop. The project engineer shall provide a report evaluating the site situation and providing mitigation measures to remove the site from the FEMA’s designated flood zone. This report must also provide measures to protect adjacent areas, as required by FEMA and the City of Hayward. (Refer to Chapter 9, Article 4: Flood Plain Management for additional information and requirements.)

3. Preliminary Water Quality Treatment Facility Exhibit (Provision C.3 requirement)

In order to comply with a new Municipal Regional Permit (MRP) adopted on October 14, 2009, by the San Francisco Bay Regional Water Quality Control Board, a preliminary Water Quality Treatment Facility Exhibit (Provision C.3 requirement) is required to accompany the submittal of a tentative tract map application. The exhibit shall show locations of proposed treatment facilities, types, sizes and requirements of the proposed treatment facilities, and preliminary calculations to demonstrate that stormwater runoff generated from the site is properly treated onsite prior to its discharge into downstream receiving waters. The proposed treatment facilities shall be designed to comply with the hydraulic sizing criteria listed in Provision C.3 of the Alameda County Clean Water Program (ACCWP) NPDES permit (page 30). In addition, the California Stormwater Quality Association’s Stormwater Best Management Practice Handbook New Development and Redevelopment, Subsection 5.5 on pages 5-12 has a section titled “BMP Design Criteria for Flow and Volume”. These materials are available in the internet at www.cabmphandbooks.com. (See attached sample of preliminary C.3 Exhibit).

4. Scheduling For the Proposed Multiple Final Map Filing

Filing of multiple final maps pursuant to the Govt. C 66452.6(a) (1): the number of phased final maps that may be filed shall be determined by the advisor agency at the time of the approval or conditional approval of the tentative map. The Applicant shall provide to the City the proposed phasing and scheduling for the proposed multiple final map filing and any improvements to be installed for public and private roadways, utility, infrastructure, etc.

5. Explanation of Vesting Rights For the Vesting Tentative Map

The submittal to City staff is to subdivide the land into parcels and no development/construction is proposed on those parcels at this time. Therefore, it is unclear what vesting rights the subdivider is seeking. Please provide appropriate explanation of desired vesting rights.

6. Revised Traffic Study

The applicant must provide a traffic study that is acceptable to the city. Although a traffic study has been submitted, the analysis methodology is not consistent with the City's methodology. Therefore, the applicant will need to revise this traffic study to analyze the two intersections – Baumberg/Project Driveway and Baumberg/Industrial – using TRAFFIX and HCM 1994 in stopped delay to determine whether the project will have a significant impact, primarily to the Baumberg/Industrial intersection. If necessary, identify measures that may be needed to reduce the impacts to a less than significant level. If you have any questions regarding the comments above, please contact Mr. Frascinella at (510) 583-4784.

7. Landscape Plan

Provide a preliminary landscape plan, prepared by a licensed landscape architect, for the landscaping proposed within the buffer zone and any other common landscaped areas.

8. List of Design Elements

Provide a list of design elements that differ from the approved specific plan. This would include fencing buffer zones, and any other deviations from the requirements within the approved specific plan.

Planning staff has also received comments from outside agencies. Those comments include:

California Department of Fish and Game

Enclosed is a copy of the email the City received from the Department of Fish and Game. It is their opinion that the site is a habitat for the Western snowy plover, salt marsh harvest mouse, and western burrowing owl. The City and the developer will have to work closely with Fish and Game to see if this issue can be resolved or mitigated.

Alameda County Flood Control District

Enclosed is an email from the Alameda County Flood Control District requesting that a drainage study and a design that indicates how C-3 requirements will be met.

Additional comments from City departments and divisions shall be forth coming.

Thank you for your cooperation. Upon receipt of these materials, your application will continue to be processed. If you have any questions regarding your applications, please contact John Nguyen at (510) 583-4111 or e-mail John at john.nguyen@hayward-ca.gov. Zone change questions can be directed to me at (510) 583-4207 or e-mail me at tim.koonze@hayward-ca.gov.

Sincerely,

Tim R. Koonze
Associate Planner

cc: Tentative Map Checklist
FEMA Report Form
Preliminary Water Quality Treatment Facility Exhibit Form
Email from Alameda County Flood Control District dated November 2, 2010
Email from California Department of Fish and Game dated October 29, 2010

February 1, 2011

RJA
4690 Chabot Drive, Suite 200
Pleasanton, CA 94588
Attention: Arnold Chu

Subject: Letter of Incompletion for Zone Change Application No. PL-2010-0373 and Vesting Tentative Tract Map 8039 Application No. PL-2010-0374, 3596 Baumberg Avenue

Dear Mr. Chu:

This will acknowledge receipt of the following materials received on January 25, 2011:

1. A check in the amount of \$7,000 as an initial deposit for drainage review,
2. Three copies of Stormwater Management Plan,
3. Three copies of Preliminary Hydrology and Hydraulics Summary, and
4. 35 sets of Landscape site plan, transmitted separately.

Your transmittal letter indicated that a copy of CLOMR-F application was included in the submittal. However, this office could not find the copy of the CLOMR-F application in the transmittal package.

Thank you for submitting additional information and documents for the aforementioned projects. However, the following items that were determined to make this application incomplete, provided to your office in our November 5, 2010, letter, have not been completely submitted. I have marked these incomplete items by italicized text.

1. Drainage Study

Based on the size of the project, its location and proposed storm drain design, a preliminary drainage study is required to ensure that the site and its tributary areas can properly drain. The drainage study shall be submitted for review by the City and Alameda County Flood Control and Water Conservation District (Flood Control District) to ensure that the proposed drainage system would function as designed and the downstream drainage facilities have capacities to accept stormwater runoff

generated from the proposed watershed associated with the project development. The hydrology calculations shall substantiate that there will be no net increases in the quantity of runoff from the site versus the flow rate derived from the original design of the main facilities. If there is augmented runoff, off-site and/or on-site mitigation measures as approved by the City and Flood Control District shall be implemented. Responsible maintenance party/parties for such off-site and/or on-site mitigation facilities must be identified. The preliminary drain study shall be reviewed and approved by both the City and Flood Control District prior to scheduling a Planning Commission's public hearing. Provide three sets of hydrology map, watershed Study Report, pump capacity calculations and an initial deposit of \$7,000 to Flood Control District, and provide two set of the aforementioned materials to the City of Hayward Planning Division, Development Review Services Section. If you have any questions regarding materials that need to be submitted to Flood Control District, please contact Mr. Fernando Gonzales at (510) 670-5267.

Response: Submitted Preliminary Drainage Study will be referred for review by the Flood Control District. Since the check was made payable to the City; we will deposit it to the current account created for the project and issue a \$7,000 check payable to Alameda County Treasurer. That way the developer would not have to write another check. We will send a new issued check along with two copies of preliminary Hydrology and Hydraulics Summary to Flood Control District for review. Drainage review account will be created and handled by the ACFCO once we send the drainage package to them.

Provide a contingency/emergency overland flow drainage plan to account for blocked drainage inlets and the 100-year flood (the one percent chance flood). The emergency overland flow drainage plan shall show emergency overflow within the road right-of-way or emergency overland drainage passage. Show right-of-way or emergency overland drainage passage on the tentative map between lots to allow passage of emergency overland release. The potential area of flooding shall not extend outside the road right-of-way or emergency overland drainage passage, unless approved by the City Engineer. The contingency/emergency overland flow drainage plan shall also address how the adjacent Industrial areas at lower elevation will be protected.

The aforementioned contingency/emergency overland flow drainage plan has not been provided to the City.

2. FEMA Report

Our records indicated that the project site is within the Federal Emergency Management Agency (FEMA) designated Flood Zone AE (Elevation 10) – Special flood hazard subject to inundation by the one-percent chance flood, as shown in the Flood Insurance Rate Map (FIRM), Community Panel No. 06001C0426G, effective date August 2, 2009; therefore, the project engineer is required to develop mitigation measures. The project engineer shall provide a report evaluating the site situation

and providing mitigation measures to remove the site from the FEMA's designated flood zone leading to a Conditional Letter of Map Revision (CLOMR). This report includes preparation of a flood plain study evaluating alterations in floodplain characteristics, including depth, extend and velocity, caused by the addition of fill, and must also provide measures to protect adjacent areas, as required by FEMA and the City of Hayward. (Refer to Chapter 9, Article 4: Flood Plain Management for additional information and requirements.)

On December 12, 2010, City staff provided you with all necessary information for the Community Acknowledgement Form (MT-1 Form 3). However, City staff has not received a complete CLOMR for review.

3. Preliminary Water Quality Treatment Facility Exhibit (Provision C.3 requirement)

In order to comply with a new Municipal Regional Permit (MRP) adopted on October 14, 2009, by the San Francisco Bay Regional Water Quality Control Board, a preliminary Water Quality Treatment Facility Exhibit (Provision C.3 requirement) is required to accompany the submittal of a tentative tract map application. The exhibit shall show locations of proposed treatment facilities, types, sizes and requirements of the proposed treatment facilities, and preliminary calculations to demonstrate that stormwater runoff generated from the site is properly treated onsite prior to its discharge into downstream receiving waters. The proposed treatment facilities shall be designed to comply with the hydraulic sizing criteria listed in Provision C.3 of the Alameda County Clean Water Program (ACCWP) NPDES permit (page 30). In addition, the California Stormwater Quality Association's Stormwater Best Management Practice Handbook New Development and Redevelopment, Subsection 5.5 on pages 5-12 has a section titled "BMP Design Criteria for Flow and Volume". These materials are available in the internet at www.cabmphandbooks.com. (See attached sample of preliminary C.3 Exhibit).

Response: Three sets of Stormwater Management Plan along with other materials will be referred to other departments and divisions for review once this office receives all materials for these incomplete items.

4. Scheduling For the Proposed Multiple Final Map Filing

Filing of multiple final maps pursuant to the Govt. C 66452.6(a) (1): the number of phased final maps that may be filed shall be determined by the advisor agency at the time of the approval or conditional approval of the tentative map. The Applicant shall provide to the City the proposed phasing and scheduling for the proposed multiple final map filing and any improvements to be installed for public and private roadways, utility, infrastructure, etc.

The aforementioned phasing and scheduling plan has not been provided to the City.

5. Explanation of Vesting Rights For the Vesting Tentative Map

The submittal to City staff is to subdivide the land into parcels and no development/construction is proposed on those parcels at this time. Therefore, it is unclear what vesting rights the subdivider is seeking. Please provide appropriate explanation of desired vesting rights.

The aforementioned explanation has not been provided to the City.

6. Revised Traffic Study

The applicant must provide a traffic study that is acceptable to the city. Although a traffic study has been submitted, the analysis methodology is not consistent with the City's methodology. Therefore, the applicant will need to revise this traffic study to analyze the two intersections – Baumberg/Project Driveway and Baumberg/Industrial – using TRAFFIX and HCM 1994 in stopped delay to determine whether the project will have a significant impact, primarily to the Baumberg/Industrial intersection. If necessary, identify measures that may be needed to reduce the impacts to a less than significant level. If you have any questions regarding these Traffic comments, please contact Mr. Frascinella at (510) 583-4784.

Response: Revised Traffic Impact Study is being reviewed by Public Works staff.

7. Landscape Plan

Provide a preliminary landscape plan, prepared by a licensed landscape architect, for the landscaping proposed within the buffer zone and any other common landscaped areas.

Response: 35 sets of Landscape Plan along with other materials will be referred to other departments and divisions for review once this office receives all remaining materials for these incomplete items.

8. List of Design Elements

Provide a list of design elements that differ from the approved specific plan. This would include fencing, buffer zones, and any other deviations from the requirements within the approved specific plan for the South of Route 92.

The aforementioned list of Design Element has not been provided to the City.

Planning staff has also received comments from outside agencies. Those comments include:

California Department of Fish and Game

Enclosed is a copy of the email the City received from the California State Department of Fish and Game. It is their opinion that the site is habitat for the Western snowy plover, salt marsh harvest mouse, and western burrowing owl. The City and the developer will have to work closely with Fish and Game Department to see if this issue can be resolved or mitigated.

This office has not received any correspondence indicating that the California State Department of Fish and Game has changed their opinion.

Alameda County Flood Control and Water Conservation District

Enclosed is an email from the Alameda County Flood Control District requesting that a drainage study and a design that indicates how C-3 requirements will be met.

Response: See response to the aforementioned Item No. 1.

Thank you for your cooperation. Upon receipt of all materials for these incomplete items, your applications will continue to be processed. If you have any questions regarding your applications, please contact me via email at john.nguyen@hayward-ca.gov, or via telephone at (510) 583-4111. Zone change questions can be directed to Mr. Tim Koonze at (510) 583-4207 or via email at tim.koonze@hayward-ca.gov.

Very truly yours,

John P. Nguyen
Development Review Services Engineer

cc: Anthony Varni, VFH&R
Fernando Gonzales, ACFCO
Marcia Grefsrud, CA-DF&G
Planning Division staff
Public Works staff

January 10, 2012

John Zellmer
4690 Chabot Drive, Suite 200
Pleasanton, CA 94588

Subject: Letter of Incompletion for Zone Change Application No. 2010-0373 and Vesting Tentative Tract Map 8039 Application No. 2010-0374, 3596 Baumberg Avenue

Dear Mr. Zellmer,

Thank you for your resubmittal of the plans and documents pertaining to your applications to request a zone change from Light Manufacturing to Planned Development in conjunction with a vesting tentative map to create 16-lot subdivision. The Planning Division has reviewed the submittal and has determined that the application is incomplete.

There are a few items that need to be submitted to make the applications complete. Please submit the following:

Development Review Engineer – John Nguyen (510) 583-4111

- A. Provide a Phase I Environmental Assessment report. Within the report some consideration should be made as to past uses such as herbicide/pesticides from agriculture, lead shot in ammunition from duck club and contaminants from imported soils used in property filling activities that have occurred on the property. A statement by a qualified professional shall be provided that evaluates any potential or known contaminants and identifies whether the property is safe for residential development. Please contact the Hugh Murphy at the Hayward Fire Department at (510) 583-4924 for further information.
- B. Emergency Overland Release map and preliminary calculations. Requirement is from Public Work Department.
Provide a contingency/emergency overland flow drainage plan to account for blocked drainage inlets and the 100-year flood (the one percent chance flood). The emergency overland flow drainage plan shall show emergency overflow within the road right-of-way or emergency overland drainage passage. Show right-of-way or emergency overland drainage passage on the tentative map between lots to allow passage of emergency overland release. The potential

area of flooding shall not extend outside the road right-of-way or emergency overland drainage passage, unless approved by the City Engineer. The contingency/emergency overland flow drainage plan shall also address how the adjacent Industrial areas at lower elevation will be protected.

NOTE: Emergency Overland Release map was provided via email, by RJA on December 22, 2011

- C. The preliminary storm drain hydraulic calculations shall be reviewed and approved by the City and Flood Control District prior to scheduling a Planning Commission's public hearing. See the attached email dated January 6, 2012 from the ACFCD for comments and requirements.

Associate Planner – Tim Koonze (510) 583-4207

- D. Lot 10, a portion of Lot11 and the area where the private street, identified as Court A, abuts the wetlands do not have a 50-foot-wide wetlands buffer area. If these areas require a 50-foot-wide buffer this could change the size of the parcels and could relocate the street. Please provide an explanation for the difference or modify the plans to show the 50-foot-wide buffer area.
- E. Parcel B is labeled as a (Wetland Mitigation Area for Project Development). Is this area supposed to be a wetland area? If so, an 84-foot-wide wetland area is being proposed between two private properties fronting on Baumberg Avenue. This would not be considered an acceptable wetland area. Please modify plans and explain what the intended use of that 84-foot-wide area would be. Perhaps it should be a separate lot to be developed in the future.
- F. There are no wetlands separation area proposed between developed or potentially developed properties and the proposed wetland area. Please provide the same 50-foot-wide buffer area as required on the other developed properties or provide an explanation as to why such a buffer is not required.
- G. Since the streets are to be private a property owners association must established and therefore, Lots C and D will need to be landscaped and irrigated. These areas would be maintained by the property owners association. Provide a rough landscape plan for these two parcels.

The following are comments on the submitted materials that need to be addressed but would not necessarily make the applications incomplete.

Development Review Engineer – John Nguyen (510) 583-4111

1. The Stormwater Management Plan, dated January 5, 2011, shall be updated. Verify that the proposed water quality treatment facilities meet current C.3 requirements. Refer to the C.3 Stormwater Technical Guidance, dated December 1, 2011, for additional information. Resubmit three copies of the revised report.
2. The Traffic Impact Study, dated May 13, 2011, is acceptable.
3. Provide a status update for the CLOMAR application.

Comments on the preliminary Vesting Tentative Map:

4. All tentative maps must be signed and stamped by Licensed Land Surveyors or Registered Civil Engineer, who is authorized to practice land survey for the survey portion of the tentative map. A Registered Civil Engineer shall sign and stamp the proposed improvement portion of the tentative map.
5. Submit two sets of revised tentative map with original signatures of the map preparer and owner.
6. Delete Note Number 16 referring to the filing of multiple final maps. Based on information received at the December 21, 2011, meeting, one Final Map will be filed.
7. Add Note to indicate that a 'Property Owner Association' will be formed to own and maintain all common areas and associated infrastructure (private streets, drive aisles, private utilities, storm drain facilities and landscape, etc.) within the development.
8. Revise Note Nos. 13.c to indicate that storm drain service is to be provided by the Alameda County Flood Control District, and 13.e to indicate that telephone service is to be provided by AT&T.

Sheet 2 – Street Sections and Details

9. Revise the proposed grassy swale detail using Alameda County Clean Water Program Publication: C3 Stormwater Technical Guidance, December 1, 2011.
10. Add note to identify the party responsible for the maintenance of the proposed buffer easement. It is unclear who is responsible for maintaining the proposed buffer easement.
11. Add note to indicate that new pedestrian ramps are to be installed at warranted locations.
12. Add note to indicate that traffic safety signs for the proposed private streets in accordance with City standards, including the private street name, stop and parking restriction signs.
13. Add note to indicate that rock rip-raps are to be installed along filled slopes for erosion protections where necessary.

Sheet 3 – Preliminary Grading Plan:

14. The proposed emergency overland release route through the proposed wetland mitigation area (Parcel B) and future wetland bank (Parcel A) shall be reviewed and approved by regulatory agencies responsible for reviewing and approval of the proposed wetland mitigation area.
15. An approximate 20 feet wide strip of land of Parcel B fronting Baumberg Avenue (private street) shall be reserved as 'Private Roadway Easement' so that Baumberg Avenue roadway width can be maintained.
16. The proposed emergency overland release route for a portion of the development site (north portion) onto existing Arden Road (private), Bridge Road (private) and Baumberg Avenue (private) shall be carefully evaluated and designed so that additional runoff generated from the development site will not cause any adverse impacts to existing residential areas at lower elevation.

17. It appears that drainage easement may need to be obtained from Glazer and Filena for the proposed emergency overland release route. The project engineer shall evaluate the situation and make appropriate mitigation measures.
18. The party responsible for maintaining the proposed 20-foot wide EVAE shall be identified. Add a note to identify the party responsible for maintaining the proposed EVAE.
19. The party responsible for maintaining the proposed 20-foot wide PSDE shall be identified. Add a note to identify the party responsible for maintaining the proposed PSDE.
20. The proposed finish elevation of the proposed EVAE shall be set at least at the Zone AE base flood elevation.
21. Consider adjusting the proposed property line of Lot No. 9 westward approximately 40 feet so that both the proposed PSDE and EVAE will be within the development area rather than the proposed wetland mitigation parcel.

Sheet 4 – Preliminary Utility Plan:

22. The development's water mains shall be public, owned-and-maintained by the City. The water mains shall be configured in a loop system. The proposed water main terminus with fire hydrants at the cul-de-sac is not acceptable. Revise the proposed water system layout.
23. The existing 6" water main in Court B shall be looped and connect back to the proposed 12" water main in Street A. The connection for the loop should be made as close to the end of the existing main as possible in order to avoid a dead-end main.
24. The proposed 12" water main in Court A shall loop at the end of the court and then connect to the proposed 12" water main located in the easement between Parcels 9 and 10.
25. Inscribe the following Utility Notes:
 - a) Two additional water valves shall be installed adjacent to new fire hydrants to allow for isolation of line during emergency shut-off.
 - b) Ductile Iron pipe is required in all easement and control valves are required in street prior to easement for all water main.
 - c) Only Water Distribution personnel shall perform operation of water valves on the City of Hayward Water System.
26. Language for easements for water and sewer lines not in public rights-of-way shall state that no structures or trees shall be installed in the easement.
27. The City of Hayward is currently working on implementing a Recycled Water Project to utilize recycled water for certain uses, such as irrigation. It is recommended that the proposed development consider utilizing this alternative water source if it becomes available in the future.
28. Refer to an attachment for additional comments and conditions from Utility Department.

Other issues:

29. Revised hydrology and hydraulic studying and emergency overland release exhibit are being review by the ACFCO. City staff is waiting for comments and/or concerns regarding the proposed drainage patterns.
30. Dedication of 5' wide right of way along Arden Road frontage to accommodate a 60' wide right-of-way.

31. Improvements of Baumberg Avenue east of the railroad track with curb, gutter, sidewalk and tie-in pavement conforming to the existing improvements at the corner of Industrial Boulevard and Baumberg Avenue (private street).

Associate Planner – Tim Koonze (510) 583-4207

32. On January 10, I contacted Holly Costa of the Army Corps of Engineers who informed me that the latest map design would keep the development out of identified wetland areas and that any concerns from her agency could be mitigated. Therefore, a condition of approval would require that a prior to any construction, a permit be obtained from the Army Corps of Engineers and the developer shall adhere to any mitigation measures that are established.
33. City staff and the applicant's environmentalist are meeting with representatives from California Fish and Game at the Weber site on February 3, 2012. Shortly thereafter the City should receive the final comments from F&G and we will be able to work towards completion of the environmental assessment.

Thank you for your cooperation. Upon receipt of these materials, your application will continue to be processed. If you have any questions regarding your applications, please contact John Nguyen at (510) 583-4111 or e-mail John at john.nguyen@hayward-ca.gov. Zone change questions can be directed to me at (510) 583-4207 or e-mail me at tim.koonze@hayward-ca.gov.

Sincerely,

Tim R. Koonze
Associate Planner

cc: John Weber
P.O. Box 608
Diablo, CA 94528
Email from Alameda County Flood Control District dated January 6, 2012

CITY OF HAYWARD DEVELOPMENT REVIEW FOCUS GROUP

MEETING TOPICS FOR 2013

Lead Members for Presentation/Discussion	Date	Topic
Erik Pearson and David Rizk	February 6	General Plan Project Update Economic Development Strategic Plan Update
David Rizk and Group	April 3	Case Studies – Post Project Assessments (and interviews?)
David Rizk Steve Osborne, Andrew Westfield, Mary Thomas	June 5	Update on 238 Bypass Properties Disposition Update on Green Building Code Standards, Fire Sprinkler Requirements, and 2013 Codes
David Rizk	August 7	Development Review Performance Standards – How is City doing? Housing Element Update
Economic Development Staff	October 2	Industrial Sector - Meeting #2
David Rizk	December 4	Retail and Commercial – Land Use and Zoning

Unscheduled meeting topics:

- Downtown Focus
- Update on Utilities Master Plans